

Pursuant to the *Economic Development Act 2012*, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 21/2013/PDA

Date: 18 September 2023

CLIENT		BCOVE 4 PTY LTD	
PROJECT		PROPOSED RECONFIGURATION LOT 2 ON SP326583 (RIPLEY AREA 3) 1 INTO 3 LOTS	
LOCAL AUTHORITY		ECONOMIC DEVELOPMENT QUEENSLAND	
NOTES		<p>(i) This plan was prepared for the purpose and exclusive use of BCOVE 4 PTY LTD to accompany an application to ECONOMIC DEVELOPMENT QUEENSLAND for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Pty Ltd accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii), (iii) or (iv) hereof.</p> <p>(ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration.</p> <p>(iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natural Resources, Mines and Energy.</p> <p>(iv) This plan may not be copied unless these notes are included.</p>	
SCALE BAR			
		SCALE 1:6000 (A3)	
Brisbane Office		Level 1 18 Little Cribb Street, Milton Qld 4064 Ph: 600 1399 Milton Qld 4064	
		p: (07) 3842 1000 f: (07) 3842 1001 e: info@landpartners.com.au www.landpartners.com.au	
LEVEL DATUM	AHD D		
LEVEL ORIGIN	LIDAR		
CONTOUR INTERVAL	1.0 Metre		
DRAWN	TKW	DATE	07/11/2022
CHECKED	TKW	DATE	07/11/2022
APPROVED	SRS	DATE	07/11/2022
UDN	BRSS3649-RL3-121-4		

Amendments to the endorsed context plan (5940/2019/MAPDA) may be required in order to achieve densities nominated for Future Development and Future Development (Balance) Lots

Lots 483, 491-495 are only approved subject to compliance with Attachment B, Condition 23 - Recreated Waterway Corridor Rehabilitation and Stabilisation



CLIENT **SEKISUI HOUSE**
 PROJECT **PROPOSED RECONFIGURATION LOTS 1 & 2 ON SP326583 (RIPLEY)**

LOCAL AUTHORITY **ECONOMIC DEVELOPMENT QUEENSLAND**

NOTES
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LOT TYPES	LOTS	TITLES	RATIO
Row Lots	71	71	5%
Terrace Lots	83	83	6%
Villa Lots	277	277	21%
Courtyard (1)	139	139	10%
Courtyard (2)	48	48	4%
Duplex	55	110	8%
Future Development	3	205	16%
Balance	3	159	29%
Community Facilities	1	1	<1%
Total	680	1093	100%

STAGE	No. OF LOTS	TITLES	NEW ROAD	OPENSACE PARK & TPZ	DRNG	TOTAL AREA
1	40	44	754m	-	-	3.196ha
1b	40	42	333m	-	-	2.108ha
2a	7	7	161m	-	-	1.078ha
2b	37	43	292m	-	0.443	2.088ha
3	10	10	268m	-	-	1.020ha
4	16	16	184m	-	-	0.446ha
5	8	8	-	-	-	0.166ha
6	29	37	322m	-	-	3.587ha
7	12	12	26m	-	-	0.278ha
8	14	15	73m	-	-	0.720ha
8a	-	-	123m	-	1.491ha	1.893ha
9	49	52	660m	-	-	2.776ha
10	72	79	1250m	-	0.195ha	4.957ha
11	41	46	620m	0.5ha	0.325ha	3.25ha
11a	1	60	125m	-	0.169ha	1.262ha
12	25	29	60m	-	-	1.123ha
13	9	10	-	-	-	0.325ha
14	63	206	1235m	4.639ha	0.780ha	12.940ha
15	19	19	140m	-	-	1.053ha
16	50	53	585m	-	-	2.889ha
17	18	18	130m	-	-	0.577ha
18	51	56	460m	-	-	2.760ha
19	67	73	700m	-	-	3.734ha
Balance	2	158	155m	-	-	23.59ha
TOTAL	680	1093	8666m	5.139ha	3.404ha	Total Area 77.83ha

LEGEND:

- Site Boundary
- Stage Boundary
- Primary Frontage (identified on corner & selected Terrace lots only)
- Access Easement
- Road Reserve
- Display Home Lots
- Housing Development Exclusion Area
- Primary Access
- Emergency Access (after 100 lots)
- Secondary Formal Access (after 300 lots)
- Proposed Detention Basin
- Future Development (Balance)

OPEN SPACE:

- Additional Planting in Road Reserve
- Open Space
- Drainage Reserve
- Environmental Protection Zone
- Neighbourhood Park

FLOOD INFORMATION (obtained from MPN Consulting)

- Q100
- Q20

Multiple Residential Lot (3 Units)

minimum density of 85dw/ha to be achieved

minimum density of 50dw/ha to be achieved

minimum density of 30dw/ha to be achieved

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Approval No.: 21/2013/PDA
Date: 22 November 2023



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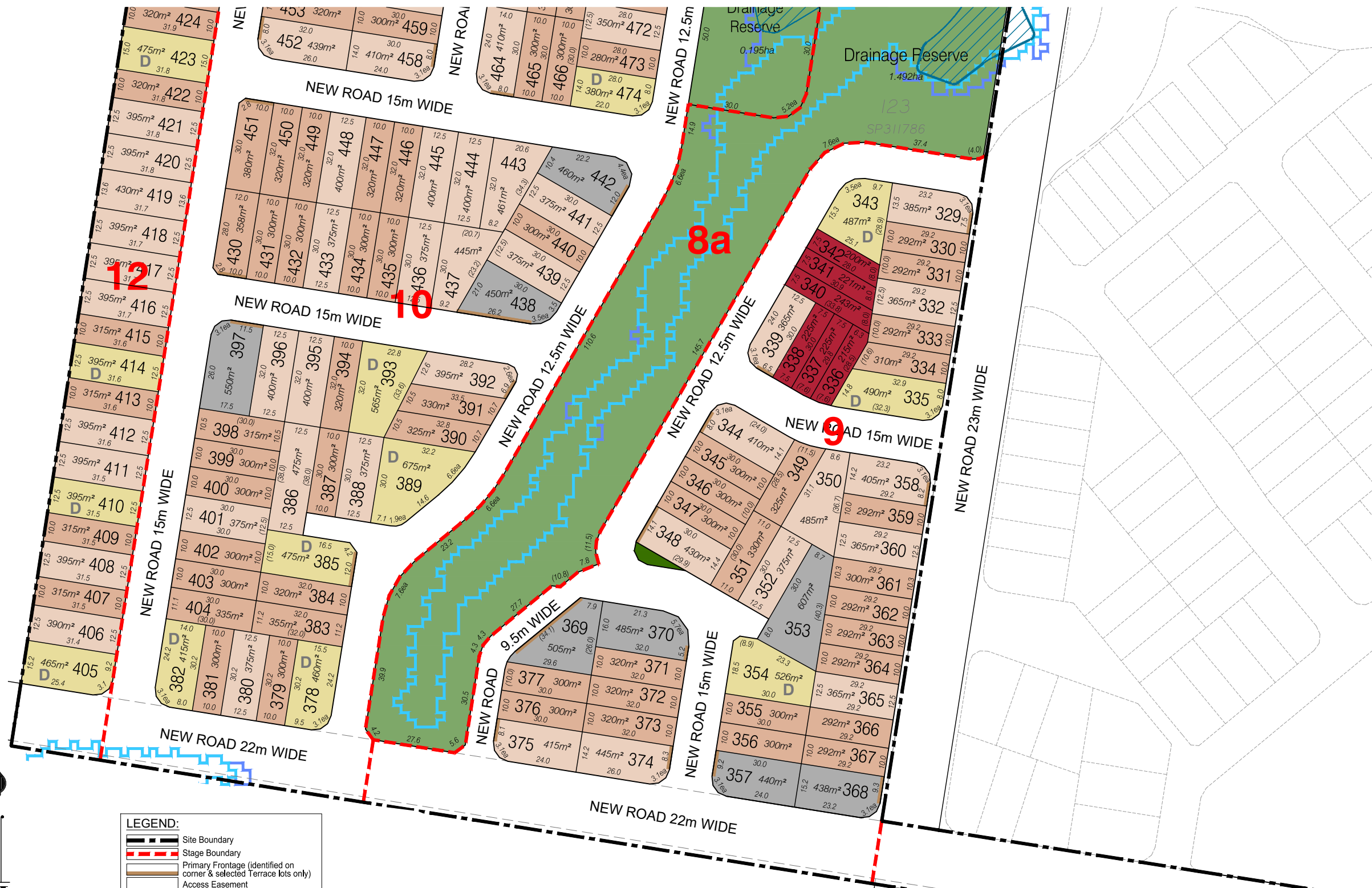
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 Milton QLD 4064

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ISO 9001:2008
 FS 535063

LEVEL DATUM	-
LEVEL ORIGIN	-
CONTOUR INTERVAL	-
COMPUTER FILE	BRSS3649-RL3-93-20
DRAWN	TKW/NME
DATE	13/11/2023
CHECKED	NME/TKW
DATE	13/11/2023
APPROVED	SRS
DATE	13/11/2023
UDN	BRSS3649-RL3-85-21

SHEET 1 OF 8



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FLOOD INFORMATION (obtained from MPN Consulting)

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- Q20

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Approval No.: 21/2013/PDA

Date: 22 November 2023

370
SPI98119

ROAD (Not to be constructed)



SCALE 1:1500 @ A3

JOINS SHEET 3

JOINS SHEET 3

CLIENT
SEKISUI HOUSE

PROJECT
PROPOSED RECONFIGURATION LOTS 1 & 2 ON SP326583 (RIPLEY)

LOCAL AUTHORITY
ECONOMIC DEVELOPMENT QUEENSLAND

NOTES

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LEVEL DATUM	-		
LEVEL ORIGIN	-		
CONTOUR INTERVAL	-		
COMPUTER FILE	BRSS3649-RL3-93-20		
DRAWN	TKW/NME	DATE	13/11/2023
CHECKED	NME/TKW	DATE	13/11/2023
APPROVED	SRS	DATE	13/11/2023
UDN	BRSS3649-RL3-85-21	SHEET 4 OF 8	

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JOINS SHEET 4

JOINS SHEET 4

JOINS SHEET 2

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Amendments to the endorsed context plan (5940/2019/MAPDA) may be required in order to achieve densities nominated for Future Development and Future Development (Balance) Lots

Balance Lot 999(pt) Total Area = 1745m²

LEGEND:

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OPEN SPACE:

- Additional Planting in Road Reserve
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- Drainage Reserve
- Environmental Protection Zone
- Neighbourhood Park

FLOOD INFORMATION (obtained from MPN Consulting)

- Q100
- Q20

CLIENT **SEKISUI HOUSE**

PROJECT **PROPOSED RECONFIGURATION LOTS 1 & 2 ON SP326583 (RIPLEY)**

LOCAL AUTHORITY **ECONOMIC DEVELOPMENT QUEENSLAND**

NOTES

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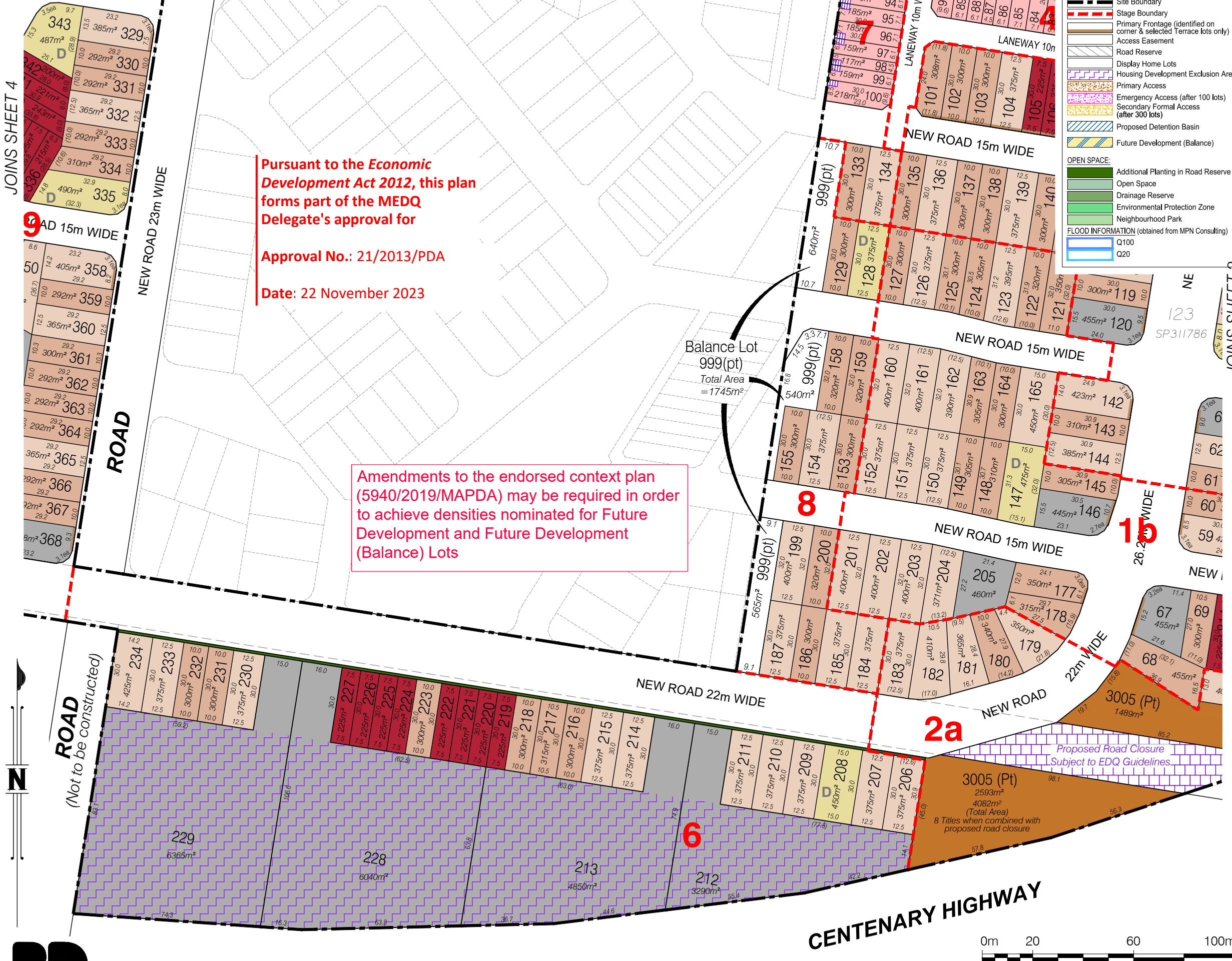


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LEVEL DATUM	-
LEVEL ORIGIN	-
CONTOUR INTERVAL	-
COMPUTER FILE	BRSS3649-RL3-93-20
DRAWN	TKW/NME
DATE	13/11/2023
CHECKED	NME/TKW
DATE	13/11/2023
APPROVED	SRS
DATE	13/11/2023
UDN	BRSS3649-RL3-85-21



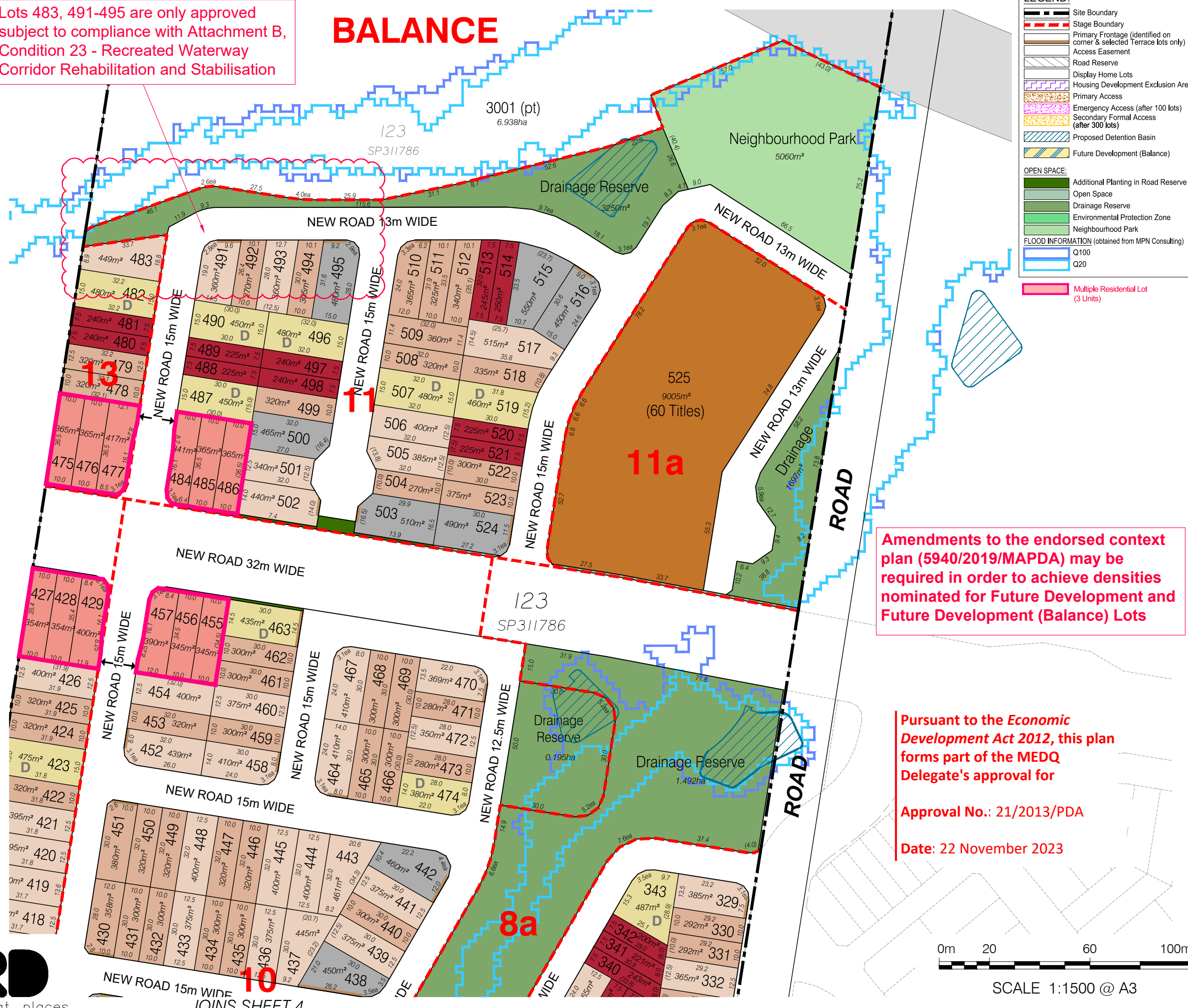
SCALE 1:1500 @ A3



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Lots 483, 491-495 are only approved subject to compliance with Attachment B, Condition 23 - Recreated Waterway Corridor Rehabilitation and Stabilisation

BALANCE



LEGEND:

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FLOOD INFORMATION (obtained from MPN Consulting)

- Q100
- Q20

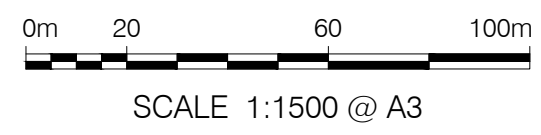
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CLIENT
SEKISUI HOUSE

PROJECT
PROPOSED RECONFIGURATION
LOTS 1 & 2 ON SP326583
(RIPLEY)

LOCAL AUTHORITY
ECONOMIC DEVELOPMENT QUEENSLAND

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LEVEL DATUM	-
LEVEL ORIGIN	-
CONTOUR INTERVAL	-
COMPUTER FILE	BRSS3649-RL3-93-20
DRAWN	TKW/NME
DATE	13/11/2023
CHECKED	NME/TKW
DATE	13/11/2023
APPROVED	SRS
DATE	13/11/2023
UDN	BRSS3649-RL3-85-21

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NEW ROAD 15m WIDE
JOINS SHEET 4

CENTENARY HIGHWAY

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LEGEND:

- Site Boundary
- Stage Boundary
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- Proposed Detention Basin
- Future Development (Balance)

OPEN SPACE:

- Additional Planting in Road Reserve
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FLOOD INFORMATION (obtained from MPN Consulting)

- Q100
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CLIENT **SEKISUI HOUSE**
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LOCAL AUTHORITY **ECONOMIC DEVELOPMENT QUEENSLAND**

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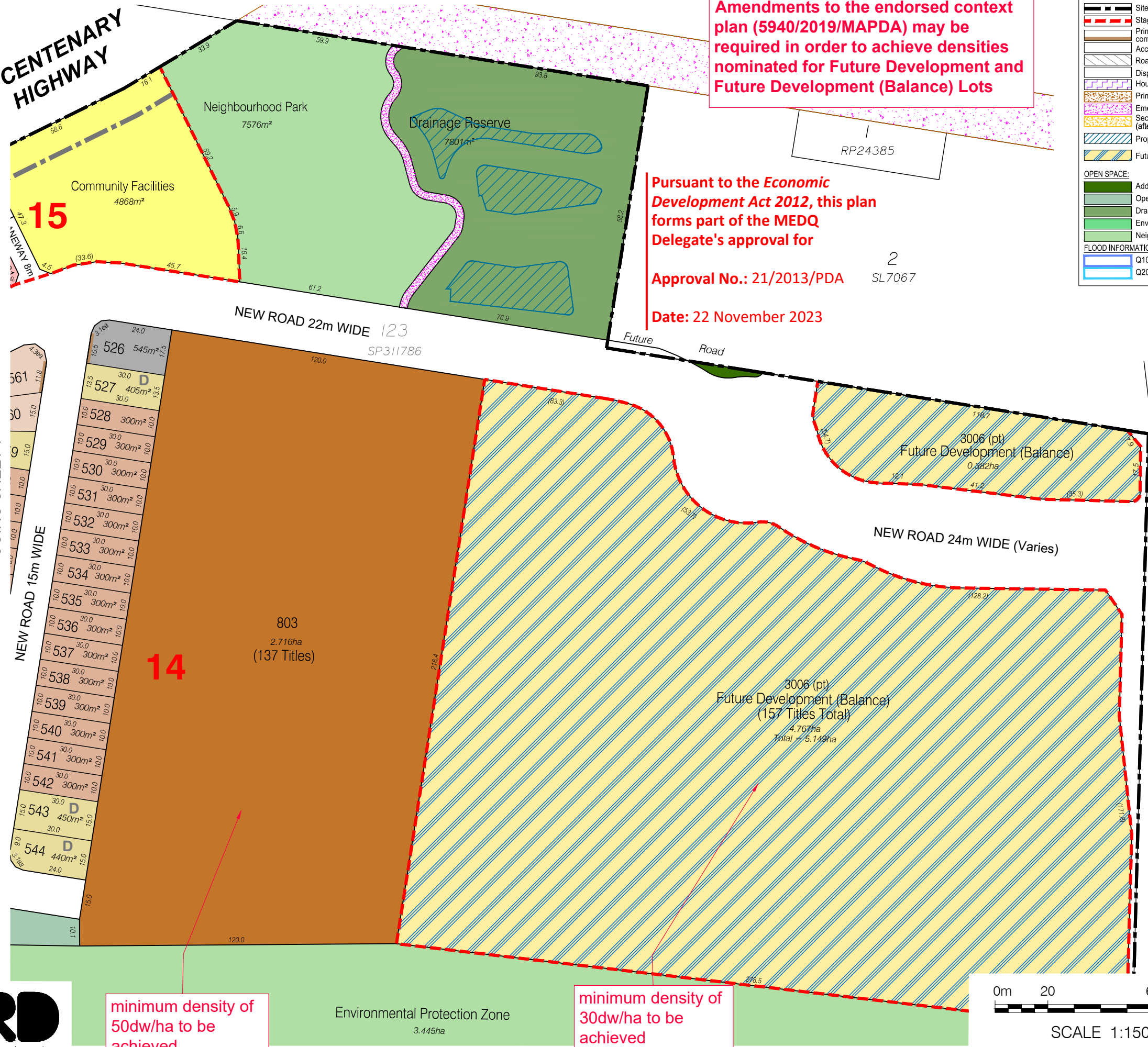
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Approval No.: 21/2013/PDA SL7067

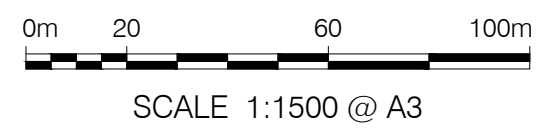
Date: 22 November 2023



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 FS 535063

LEVEL DATUM -

LEVEL ORIGIN -

CONTOUR INTERVAL -

COMPUTER FILE BRSS3649-RL3-93-20

DRAWN TKW/NME DATE 13/11/2023

CHECKED NME/TKW DATE 13/11/2023

APPROVED SRS DATE 13/11/2023

UDN BRSS3649-RL3-85-21 SHEET 6 OF 8

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- Open Space
- Drainage Reserve
- Environmental Protection Zone
- Neighbourhood Park

FLOOD INFORMATION (obtained from MPN Consulting)

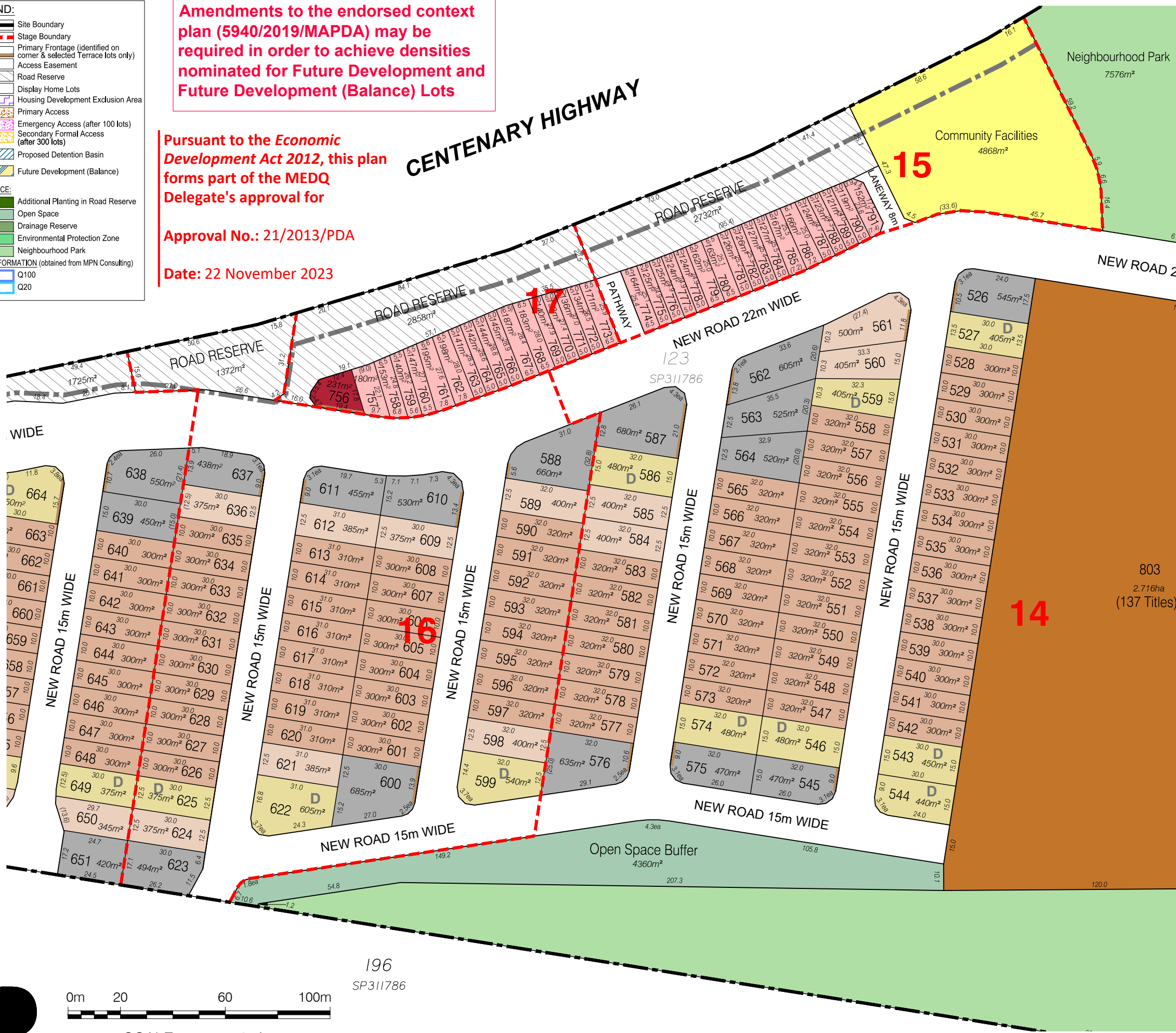
- Q100
- Q20

Amendments to the endorsed context plan (5940/2019/MAPDA) may be required in order to achieve densities nominated for Future Development and Future Development (Balance) Lots

Pursuant to the Economic Development Act 2012, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 21/2013/PDA

Date: 22 November 2023



CLIENT
SEKISUI HOUSE

PROJECT
PROPOSED RECONFIGURATION
LOTS 1 & 2 ON SP326583
(RIPLEY)

LOCAL AUTHORITY
ECONOMIC DEVELOPMENT QUEENSLAND

NOTES

(i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to ECONOMIC DEVELOPMENT QUEENSLAND for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation.
LandPartners Pty Ltd accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii) or (iii) hereof.

(ii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natural Resources, Mines and Energy.

(iv) This plan may not be copied unless these notes are included.

STAGE	LOTS	NO. OF TITLES	NEW ROAD	OPENS SPACE PARK & TPZ	DRNG	TOTAL AREA
1	40	44	754m	-	-	3.196ha
1b	40	42	333m	-	-	2.108ha
2a	7	7	161m	-	-	1.078ha
2b	37	43	292m	-	0.443	2.088ha
3	10	10	268m	-	-	1.020ha
4	16	16	184m	-	-	0.446ha
5	8	8	-	-	-	0.166ha
6	29	37	322m	-	-	3.587ha
7	12	12	26m	-	-	0.278ha
8	14	15	73m	-	-	0.720ha
8a	-	-	123m	-	1.491ha	1.893ha
9	49	52	660m	-	-	2.776ha
10	72	79	1250m	-	0.195ha	4.957ha
11	41	46	620m	0.5ha	0.325ha	3.25ha
11a	1	60	125m	-	0.169ha	1.262ha
12	25	29	60m	-	-	1.123ha
13	9	10	-	-	-	0.325ha
14	63	206	1235m	4.639ha	0.780ha	12.940ha
15	19	19	140m	-	-	1.053ha
16	50	53	585m	-	-	2.889ha
17	18	18	130m	-	-	0.577ha
18	51	56	460m	-	-	2.760ha
19	67	73	700m	-	-	3.734ha
Balance	2	158	155m	-	-	23.59ha
TOTAL	680	1093	8666m	5.139ha	3.404ha	Total Area 77.83ha

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ISO 9001:2008
FS 535063

LEVEL DATUM	-
LEVEL ORIGIN	-
CONTOUR INTERVAL	-
COMPUTER FILE	BRSS3649-RL3-93-20
DRAWN	TKW/NME
DATE	13/11/2023
CHECKED	NME/TKW
DATE	13/11/2023
APPROVED	SRS
DATE	13/11/2023

UDN **BRSS3649-RL3-85-21** SHEET 7 OF 8

0m 20 60 100m

SCALE 1:1500 @ A3

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF RESOURCES.

CLIENT
SEKISUI HOUSE

PROJECT
**PROPOSED RECONFIGURATION
LOTS 1 & 2 ON SP326583
(RIPLEY)**

LOCAL AUTHORITY
ECONOMIC DEVELOPMENT QUEENSLAND

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(iv) This plan may not be copied unless these notes are included.

LEGEND:

- Site Boundary
- Stage Boundary
- Primary Frontage (identified on corner & selected Terrace lots only)
- Access Easement
- Road Reserve
- Display Home Lots
- Housing Development Exclusion Area
- Primary Access
- Emergency Access (after 100 lots)
- Secondary Formal Access (after 300 lots)
- Proposed Detention Basin
- Future Development (Balance)

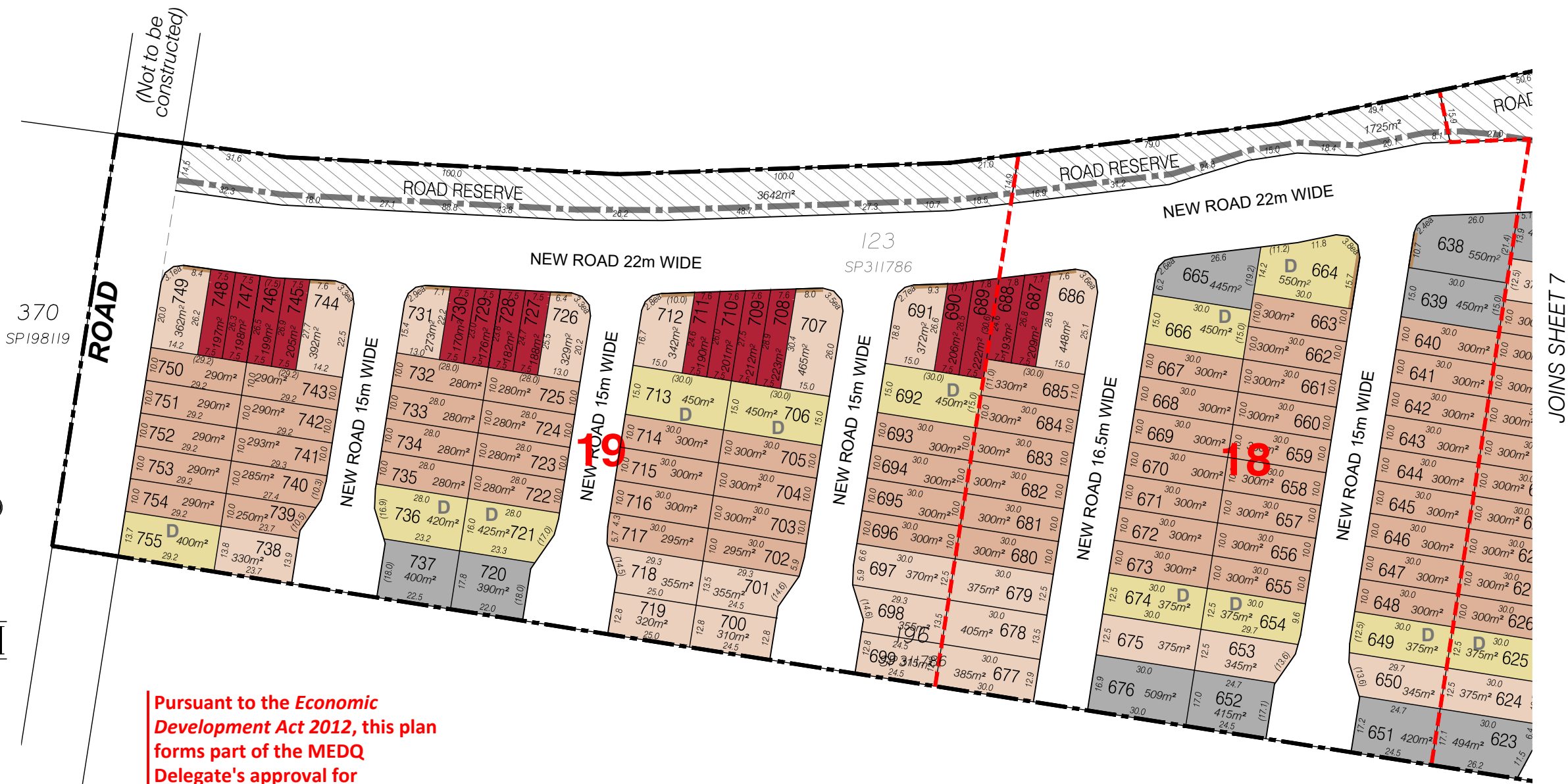
OPEN SPACE:

- Additional Planting in Road Reserve
- Open Space
- Drainage Reserve
- Environmental Protection Zone
- Neighbourhood Park

FLOOD INFORMATION (obtained from MPN Consulting)

- Q100
- Q20

CENTENARY HIGHWAY



STAGE	No. OF LOTS	TITLES	NEW ROAD	OPENS SPACE PARK & TPZ	DRNG	TOTAL AREA
1	40	44	754m	-	-	3.196ha
1b	40	42	333m	-	-	2.108ha
2a	7	7	161m	-	-	1.078ha
2b	37	43	292m	-	0.443	2.088ha
3	10	10	268m	-	-	1.020ha
4	16	16	184m	-	-	0.446ha
5	8	8	-	-	-	0.166ha
6	29	37	322m	-	-	3.587ha
7	12	12	26m	-	-	0.278ha
8	14	15	73m	-	-	0.720ha
8a	-	-	123m	-	1.491ha	1.893ha
9	49	52	660m	-	-	2.776ha
10	72	79	1250m	-	0.195ha	4.957ha
11	41	46	620m	0.5ha	0.325ha	3.25ha
11a	1	60	125m	-	0.169ha	1.262ha
12	25	29	60m	-	-	1.123ha
13	9	10	-	-	-	0.325ha
14	63	206	1235m	4.639ha	0.780ha	12.940ha
15	19	19	140m	-	-	1.053ha
16	50	53	585m	-	-	2.889ha
17	18	18	130m	-	-	0.577ha
18	51	56	460m	-	-	2.760ha
19	67	73	700m	-	-	3.734ha
Balance	2	158	155m	-	-	23.59ha
TOTAL	680	1093	8666m	5.139ha	3.404ha	Total Area 77.83ha

Pursuant to the Economic Development Act 2012, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 21/2013/PDA

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NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF RESOURCES.

LEGEND:

- Site Boundary
- Stage Boundary
- Primary Frontage (identified on corner & selected Terrace lots only)
- Built to Boundary Wall
- Access Easement
- Proposed Stairs Location
- Road Reserve
- Display Home Lots
- Housing Development Exclusion Area
- Primary Access
- Emergency Access (after 100 lots)
- Secondary Formal Access (after 300 lots)
- Proposed Detention Basin
- Future Development (Balance)

OPEN SPACE:

- Additional Planting in Road Reserve
- Open Space
- Drainage Reserve
- Environmental Protection Zone
- Neighbourhood Park

BUSHFIRE (obtained from MPN Consulting)

- BAL 40 Setback
- BAL 29 Setback
- Managed Bushfire Buffer
- BAL 19 Setback
- BAL 12.5 Setback

FLOOD INFORMATION (obtained from MPN Consulting)

- Q100
- Q20

ACOUSTIC INFORMATION (obtained from Acoustic Works)

- Lots affected by Acoustic Report See Note 31 on Plan of Development

Site Development Table

	Row Lots		Terrace Lots		Villa Lots		Courtyard Lots (1)		Courtyard Lots (2)		Duplex	
	<7.5	>7.5	7.5m-9.9m	10m-12.4m	12.5m-14.9m	15m-19.9m	Ground	First	Ground	First	Ground	First
Primary Frontage	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4
Rear	0.9	0.9	0.9	0.9	0.9	0.9	0.9	0.9	0.9	0.9	0.9	0.9
Side - General Lots	0	0	0	0	0	0	0	0	0	0	0	0
Built to Boundary	0	0	0	0	0	0	0	0	0	0	0	0
Non-Built to Boundary	0	0	0	0	0.9	0.9	1	1	1	1.5	1	1.5
Corner Lots - Secondary Frontage	1	1	1	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Laneway Frontage	0	0	0	0	0	0	0	0	0	0	0	0
Garage (from Laneway Boundary)	0.25	0.25	0.25	0.25	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5

* 4.9 metres to garage or carport door.
 ** Where the boundary includes a retaining wall in excess of 1.5m in height on the low side, the setback is increased to 1.2m.



Lots 483, 491-495 are only approved subject to compliance with Attachment B, Condition 23 - Recreated Waterway Corridor Rehabilitation and Stabilisation

minimum density of 85dw/ha to be achieved

Pursuant to the Economic Development Act 2012, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 21/2013/PDA

Date: 22 November 2023

minimum density of 50dw/ha to be achieved

minimum density of 30dw/ha to be achieved

Amendments to the endorsed context plan (5940/2019/MAPDA) may be required in order to achieve densities nominated for Future Development and Future Development (Balance) Lots

General:

- All development is to be undertaken generally in accordance with the Development Approval.
- The notes contained within this Plan of Development apply also to the display home lots.
- The Display Homes and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
- The Ancillary Car Park and all associated improvements will be removed, and the site fully remediated once the Sales Centre has ceased operation.
- The maximum height of building on all lots must not exceed 2 storeys and 9m.

Orientation:

- Front doors of dwellings are generally to address the Primary Street Frontage identified on the Plan of Development. Except for:
 - (a) Lots 10 metres wide or less where the front entry (including side entrances) to all dwellings must be clearly defined, with elements such as a direct path and separate covered area at the front door. All dwellings should have a habitable room with windows facing onto the street to improve passive surveillance.
- If a duplex corner lot then the units should address each frontage (except on a laneway frontage).
- Primary street frontage must contain pedestrian access and mail boxes with the appropriate street numbers.
- For the Lots 91, 463, 470, 502, 503 & 524 the frontage facing the internal 32m wide "Ripley Loop road" must be activated by the use of two or more of the following:
 - (a) Verandahs/ porches; (b) Awnings and shade structures; (c) Variation to roof and building lines; (d) Inclusion of window openings; & (e) Use of varying building materials

Setbacks:

- Setbacks are as per the Site Development Table unless otherwise specified.
- Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Plan of Development for each stage. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
- Built to boundary walls on lots greater than 10m wide are to have a maximum length of 15m and a maximum height of 3.5m.
- Buildings on lots less than 10m wide may be built to more than one boundary only where indicated on the plan of development.
 - (a) Built to boundary walls where indicated on the plan of development are mandatory for row and terrace lots.
- Boundary setbacks are measured to the wall of the structure.
- Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2100mm.

Parking:

- Minimum off-street parking requirements
 - (a) One (1) and two (2) bedroom dwellings require a minimum one (1) covered space per dwelling; and
 - (b) Three (3) or more bedroom dwellings require two (2) spaces per dwellings, one which must be capable of being covered (may be provided in tandem).
- Lots less than 12.5m wide are to have a single width garage with a tandem parking space provided in front of the garage. However, double garages may be permitted where:
 - (a) A single storey dwelling is provided on a lot with a width of 10m or more and the garage is setback at least 800mm behind the face of the main dwelling; or
 - (b) A double storey dwelling is provided on a lot with a width less than 12.5 metres and a 1m upper storey or roof projection is provided over at least 50% of the garage opening width and both 17(c) and 17(d) are achieved;
 - (c) All dwellings are to have a window or balcony from a habitable room overlooking the street.
 - (d) The garage door width is to be a maximum of 6 metres or 50% of the width of the lot at the garage setback facade, whichever is the lesser.
- Parking spaces on driveways do not have to comply with AS2890.
- All dwellings which are served off a Laneway must orientate their garages and carports to the laneway—except for lots 11, 101-110, 804 & 813 which are to orientate garages and carports towards the primary frontage.

Site Cover and Amenity:

- Site cover for each lot is not to exceed 65% of the lot. Except for lots under 10m wide and Duplex Lots which are not to exceed 75% of the lot.
- Minimum private open space requirements:
 - (a) One (1) bedroom dwellings require a minimum 5m² with a minimum dimension of 1.2m;
 - (b) Two (2) bedroom dwellings require a minimum 9m² with a minimum dimension of 2.4m;
 - (c) Three (3) bedroom dwellings require a minimum 12m² with a minimum dimension of 2.4m

Fencing:

- Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 m in height unless vegetated (hedges etc.).
- Fencing for the boundaries of any lots that adjoin drainage reserve, open space or pedestrian pathways must not be constructed more than 1.5m in height with a solid component of 1.2m. The balance is to be at least 50% permeable.
- Fencing, which overlooks the 32m wide "Ripley Loop Road" (i.e. along the primary frontage of Lots 1-10, 28-35, 75-90, 427-429, 455-457, 467-469, 475-477, & 484-486 and secondary frontage of Lots 91, 463, 470, 502, 503, 524) must not be constructed more than 1.5m in height with a solid component of a maximum 1.2m. The balance is to be at least 50% permeable.

Duplex Lots:

- 'Duplex' lots are not permitted to be developed for only a single dwelling.
- The number of dwellings per 'Duplex' lot is 2 dwellings.
- All duplex applications require compliance assessment against the approved Plan of Development and conditions of approval.
 - (a) Multiple residential lots must comply with PDA Guideline 7: Low Rise Buildings, the checklist included within PDA Guideline No. 1: Residential 30 and conditions of approval.

Display Home Lots

- Car parking for development on the display home lots will be contained within the lots they are constructed on unless complying with Note 1 above.

High Density Development Easements

- High density development easements may apply for all small lots in accordance with the Land Title Act 1994.

Building Location Envelope

- Future development of single residential lots (including house construction, landscape and maintenance) to comply with the approved Bushfire Management Plan.
- Any Buildings must be constructed in accordance with Section 8 of Acoustic Works, Acoustic Report dated the 13th November 2023. Lots identified in the Report have been marked with an asterisk *.
- Terrace Lots, Row Lots, Dual Occupancies/Duplex and Multiple Residential (3 unit) Lots are subject to compliance assessment



SCALE 1:7500 @ A3



CLIENT **SEKISUI HOUSE**

PROJECT **PLAN OF DEVELOPMENT LOTS 1 & 2 ON SP326583 (RIPLEY)**

LOCAL AUTHORITY **ECONOMIC DEVELOPMENT QUEENSLAND**

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1	40	44	754m	-	-	3.196ha	2
1b	40	42	333m	-	-	2.108ha	4
2a	7	7	161m	-	-	1.078ha	4
2b	37	43	292m	-	0.443	2.088ha	5
3	10	10	268m	-	-	1.020ha	2
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5	8	8	-	-	-	0.166ha	5
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10	72	79	1250m	-	0.195ha	4.957ha	9
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11a	1	60	125m	-	0.169ha	1.262ha	10
12	25	29	60m	-	-	1.123ha	9
13	9	10	-	-	-	0.325ha	11
14	63	206	1235m	4.639ha	0.780ha	12.940ha	12,13,14
15	19	19	140m	-	-	1.053ha	15
16	50	53	585m	-	-	2.889ha	16
17	18	18	130m	-	-	0.577ha	17
18	51	56	460m	-	-	2.760ha	18
19	67	73	700m	-	-	3.734ha	19
Balance	2	158	155m	-	-	23.59ha	1
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LEVEL DATUM	-		
LEVEL ORIGIN	-		
CONTOUR INTERVAL	-		
COMPUTER FILE	BRSS3649-RL3-93-20		
DRAWN	TKW/NME	DATE	13/11/2023
CHECKED	NME/TKW	DATE	13/11/2023
APPROVED	SRS	DATE	13/11/2023
UDN	BRSS3649-RL3-83-22	SHEET 1 OF 19	

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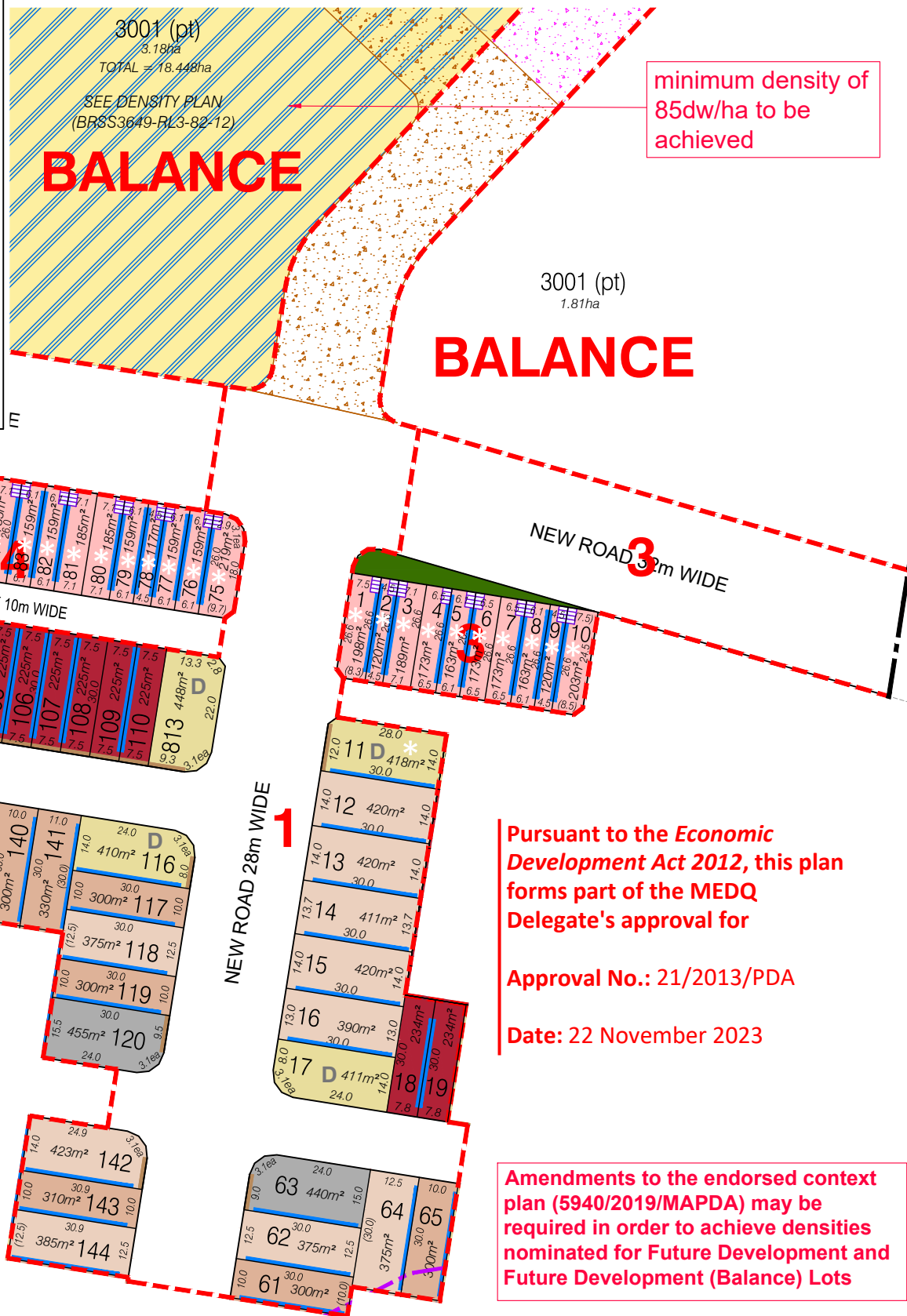
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- Emergency Access (after 100 lots)
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- Future Development (Balance)
- OPEN SPACE:**
- Additional Planting in Road Reserve
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- BUSHFIRE (obtained from MPN Consulting)**
- BAL 40 Setback
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- BAL 19 Setback
- BAL 12.5 Setback
- FLOOD INFORMATION (obtained from MPN Consulting)**
- Q100
- Q20
- ACOUSTIC INFORMATION (obtained from Acoustic Works)**
- Lots affected by Acoustic Report
- See Note 31 on Plan of Development

Site Development Table

	Row Lots		Terrace Lots		Villa Lots		Courtyard Lots (1)		Courtyard Lots (2)		Duplex	
	Ground	First	Ground	First	Ground	First	Ground	First	Ground	First	Ground	First
Primary Frontage	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4
Rear	0.9	0.9	0.9	0.9	0.9	0.9	0.9	1	0.9	1	0.9	1
Side - General Lots	0	0	0	0	0	0	0	1	0	1	0	1
Built to Boundary	0	0	0	0	0	0	0	1	0	1	0	1
Non-Built to Boundary**	0	0	0	0	0.9	0.9	1	1	1	1.5	1	1.5
Corner Lots - Secondary Frontage**	1	1	1	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Laneway Lots	0	0	0	0	0	0	0	0	0	0	0	0
Garage (from Laneway Boundary)	0.25	0.25	0.25	0.25	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5

* 4.9 metres to garage or carport door.
 ** Where the boundary includes a retaining wall in excess of 1.5m in height on the low side, the setback is increased to 1.2m.



Pursuant to the Economic Development Act 2012, this plan forms part of the MEDQ Delegate's approval for Approval No.: 21/2013/PDA Date: 22 November 2023

Amendments to the endorsed context plan (5940/2019/MAPDA) may be required in order to achieve densities nominated for Future Development and Future Development (Balance) Lots

General:

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- The Display Homes and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
- The Ancillary Car Park and all associated improvements will be removed, and the site fully remediated once the Sales Centre has ceased operation.
- The maximum height of building on all lots must not exceed 2 storeys and 9m.

Orientation:

- Front doors of dwellings are generally to address the Primary Street Frontage identified on the Plan of Development. Except for:
 - (a) Lots 10 metres wide or less where the front entry (including side entrances) to all dwellings must be clearly defined, with elements such as a direct path and separate covered area at the front door. All dwellings should have a habitable room with windows facing onto the street to improve passive surveillance.
- If a duplex corner lot then the units should address each frontage (except on a laneway frontage).
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Setbacks:

- Setbacks are as per the Site Development Table unless otherwise specified.
- Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Plan of Development for each stage. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
- Built to boundary walls on lots greater than 10m wide are to have a maximum length of 15m and a maximum height of 3.5m.
- Buildings on lots less than 10m wide may be built to more than one boundary only where indicated on the plan of development.
 - (a) Built to boundary walls where indicated on the plan of development are mandatory for row and terrace lots.
- Boundary setbacks are measured to the wall of the structure.
- Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2100mm.

Parking:

- Minimum off-street parking requirements
 - (a) One (1) and two (2) bedroom dwellings require a minimum one (1) covered space per dwelling; and
 - (b) Three (3) or more bedroom dwellings require two (2) spaces per dwellings, one which must be capable of being covered (may be provided in tandem).
- Lots less than 12.5m wide are to have a single width garage with a tandem parking space provided in front of the garage. However, double garages may be permitted where:
 - (a) A single storey dwelling is provided on a lot with a width of 10m or more and the garage is setback at least 800mm behind the face of the main dwelling; or
 - (b) A double storey dwelling is provided on a lot with a width less than 12.5 metres and a 1m upper storey or roof projection is provided over at least 50% of the garage opening width and both 17(c) and 17(d) are achieved;
 - (c) All dwellings are to have a window or balcony from a habitable room overlooking the street.
 - (d) The garage door width is to be a maximum of 6 metres or 50% of the width of the lot at the garage setback facade, whichever is the lesser.
- Parking spaces on driveways do not have to comply with AS2890.
- All dwellings which are served off a Laneway must orientate their garages and carports to the Laneway—except for lots 11, 101-110, 804 & 813 which are to orientate garages and carports towards the primary frontage.

Site Cover and Amenity:

- Site cover for each lot is not to exceed 65% of the lot. Except for lots under 10m wide and Duplex Lots which are not to exceed 75% of the lot.
- Minimum private open space requirements:
 - (a) One (1) bedroom dwellings require a minimum 5m² with a minimum dimension of 1.2m;
 - (b) Two (2) bedroom dwellings require a minimum 9m² with a minimum dimension of 2.4m;
 - (c) Three (3) bedroom dwellings require a minimum 12m² with a minimum dimension of 2.4m

Fencing:

- Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 m in height unless vegetated (hedges etc.).
- Fencing for the boundaries of any lots that adjoin drainage reserve, open space or pedestrian pathways must not be constructed more than 1.5m in height with a solid component of 1.2m. The balance is to be at least 50% permeable.
- Fencing, which overlooks the 32m wide "Ripley Loop Road" (i.e. along the primary frontage of Lots 1-10, 28-35, 75-90, 427-429, 455-457, 467-469, 475-477, & 484-486 and secondary frontage of Lots 91, 463, 470, 502, 503, 524) must not be constructed more than 1.5m in height with a solid component of a maximum 1.2m. The balance is to be at least 50% permeable.

Duplex Lots:

- 'Duplex' lots are not permitted to be developed for only a single dwelling.
- The number of dwellings per 'Duplex' lot is 2 dwellings.
- All duplex applications require compliance assessment against the approved Plan of Development and conditions of approval.
 - (a) Multiple residential lots must comply with PDA Guideline 7: Low Rise Buildings, the checklist included within PDA Guideline No. 1: Residential 30 and conditions of approval.

Display Home Lots

- Carparking for development on the display home lots will be contained within the lots they are constructed on unless complying with Note 1 above.

High Density Development Easements

- High density development easements may apply for all small lots in accordance with the Land Title Act 1994.

Building Location Envelope

- Future development of single residential lots (including house construction, landscape and maintenance) to comply with the approved Bushfire Management Plan.

- Any Buildings must be constructed in accordance with Section 8 of Acoustic Works, Acoustic Report dated the 13th November 2023. Lots identified in the Report have been marked with an asterisk *.
- Terrace Lots, Row Lots, Dual Occupancies/Duplex and Multiple Residential (3 unit) Lots are subject to compliance assessment



SCALE 1:1500 @ A3



CLIENT **SEKISUI HOUSE**
 PROJECT **PLAN OF DEVELOPMENT LOTS 1 & 2 ON SP326583 (RIPLEY)**

LOCAL AUTHORITY **ECONOMIC DEVELOPMENT QUEENSLAND**

NOTES
 (i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to ECONOMIC DEVELOPMENT QUEENSLAND for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation.
 LandPartners Pty Ltd accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii) or (iii) hereof.

(iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natural Resources, Mines and Energy.

(iv) This plan may not be copied unless these notes are included.

STAGE	No. OF LOTS	TITLES	NEW ROAD	OPEN SPACE PARK & TPZ	DRNG	TOTAL AREA	REFER TO SHEET
1	40	44	754m	-	-	3.196ha	2
1b	40	42	333m	-	-	2.108ha	4
2a	7	7	161m	-	-	1.078ha	4
2b	37	43	292m	-	0.443	2.088ha	5
3	10	10	268m	-	-	1.020ha	2
4	16	16	184m	-	-	0.446ha	2
5	8	8	-	-	-	0.166ha	5
6	29	37	322m	-	-	3.587ha	6
7	12	12	26m	-	-	0.278ha	3
8	14	15	73m	-	-	0.720ha	7
8a	-	-	123m	-	1.491ha	1.893ha	8
9	49	52	660m	-	-	2.776ha	8
10	72	79	1250m	-	0.195ha	4.957ha	9
11	41	46	620m	0.5ha	0.325ha	3.25ha	10
11a	1	60	125m	-	0.169ha	1.262ha	10
12	25	29	60m	-	-	1.123ha	9
13	9	10	-	-	-	0.325ha	11
14	63	206	1235m	4.639ha	0.780ha	12.940ha	12,13,14
15	19	19	140m	-	-	1.053ha	15
16	50	53	585m	-	-	2.889ha	16
17	18	18	130m	-	-	0.577ha	17
18	51	56	460m	-	-	2.760ha	18
19	67	73	700m	-	-	3.734ha	19
Balance	2	158	155m	-	-	23.59ha	1
TOTAL	680	1093	8666m	5.139ha	3.404ha	Total Area 77.83ha	



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LEVEL DATUM	-		
LEVEL ORIGIN	-		
CONTOUR INTERVAL	-		
COMPUTER FILE	BRSS3649-RL3-93-20		
DRAWN	TKW/NME	DATE	13/11/2023
CHECKED	NME/TKW	DATE	13/11/2023
APPROVED	SRS	DATE	13/11/2023
UDN	BRSS3649-RL3-83-22	SHEET 2 OF 19	

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF RESOURCES.

LEGEND:

- Site Boundary
- Stage Boundary
- Primary Frontage (identified on corner & selected Terrace lots only)
- Built to Boundary Wall
- Access Easement
- Proposed Stairs Location
- Road Reserve
- Display Home Lots
- Housing Development Exclusion Area
- Primary Access
- Emergency Access (after 100 lots)
- Secondary Formal Access (after 300 lots)
- Proposed Detention Basin
- Future Development (Balance)

OPEN SPACE:

- Additional Planting in Road Reserve
- Open Space
- Drainage Reserve
- Environmental Protection Zone
- Neighbourhood Park

BUSHFIRE (obtained from MPN Consulting)

- BAL 40 Setback
- BAL 29 Setback
- Managed Bushfire Buffer
- BAL 19 Setback
- BAL 12.5 Setback

FLOOD INFORMATION (obtained from MPN Consulting)

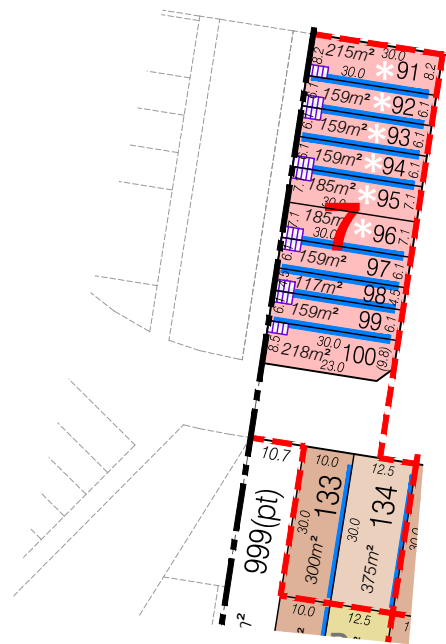
- Q100
- Q20

ACOUSTIC INFORMATION (obtained from Acoustic Works)

- Lots affected by Acoustic Report See Note 31 on Plan of Development

Site Development Table	Row Lots		Terrace Lots		Villa Lots		Courtyard Lots (1)		Courtyard Lots (2)		Duplex	
	<7.5	>7.5	7.5m-9.9m	10m-12.4m	12.5m-14.9m	15m-19.9m	Ground	First	Ground	First	Ground	First
Primary Frontage	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4
Rear	**0.9	0.9	0.9	0.9	0.9	0.9	0.9	1	0.9	1	0.9	1
Side - General Lots												
Built to Boundary	0	0	0	0	0	1	0	1	0	1	0	1
Non-Built to Boundary	**0	0	0	0	0.9	0.9	1	1	1	1.5	1	1.5
Corner Lots - Secondary Frontage	**1	1	1	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Laneway Frontage												
Garage (from Laneway Boundary)	0.25	0.25	0.25	0.25	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5

* 4.9 metres to garage or carport door.
 ** Where the boundary includes a retaining wall in excess of 1.5m in height on the low side, the setback is increased to 1.2m.



General:

- All development is to be undertaken generally in accordance with the Development Approval.
- The notes contained within this Plan of Development apply also to the display home lots.
- The Display Homes and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
- The Ancillary Car Park and all associated improvements will be removed, and the site fully remediated once the Sales Centre has ceased operation.
- The maximum height of building on all lots must not exceed 2 storeys and 9m.

Orientation:

- Front doors of dwellings are generally to address the Primary Street Frontage identified on the Plan of Development. Except for:
 - Lots 10 metres wide or less where the front entry (including side entrances) to all dwellings must be clearly defined, with elements such as a direct path and separate covered area at the front door. All dwellings should have a habitable room with windows facing onto the street to improve passive surveillance.
- If a duplex corner lot then the units should address each frontage (except on a laneway frontage).
- Primary street frontage must contain pedestrian access and mail boxes with the appropriate street numbers.
- For the Lots 91, 463, 470, 502, 503 & 524 the frontage facing the internal 32m wide "Ripley Loop road" must be activated by the use of two or more of the following:
 - Verandahs/ porches;
 - Awnings and shade structures;
 - Variation to roof and building lines;
 - Inclusion of window openings; & (e) Use of varying building materials

Setbacks:

- Setbacks are as per the Site Development Table unless otherwise specified.
- Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Plan of Development for each stage. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
- Built to boundary walls on lots greater than 10m wide are to have a maximum length of 15m and a maximum height of 3.5m.
- Buildings on lots less than 10m wide may be built to more than one boundary only where indicated on the plan of development.
 - Built to boundary walls where indicated on the plan of development are mandatory for row and terrace lots.
- Boundary setbacks are measured to the wall of the structure.
- Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2100mm.

Parking:

- Minimum off-street parking requirements
 - One (1) and two (2) bedroom dwellings require a minimum one (1) covered space per dwelling; and
 - Three (3) or more bedroom dwellings require two (2) spaces per dwellings, one which must be capable of being covered (may be provided in tandem).
- Lots less than 12.5m wide are to have a single width garage with a tandem parking space provided in front of the garage. However, double garages may be permitted where:
 - A single storey dwelling is provided on a lot with a width of 10m or more and the garage is setback at least 800mm behind the face of the main dwelling; or
 - A double storey dwelling is provided on a lot with a width less than 12.5 metres and a 1m upper storey or roof projection is provided over at least 50% of the garage opening width and both 17(c) and 17(d) are achieved;
 - All dwellings are to have a window or balcony from a habitable room overlooking the street.
 - The garage door width is to be a maximum of 6 metres or 50% of the width of the lot at the garage setback facade, whichever is the lesser.
- Parking spaces on driveways do not have to comply with AS2890.
- All dwellings which are served off a Laneway must orientate their garages and carports to the Laneway—except for lots 11, 101-110, 804 & 813 which are to orientate garages and carports towards the primary frontage.

Site Cover and Amenity:

- Site cover for each lot is not to exceed 65% of the lot. Except for lots under 10m wide and Duplex Lots which are not to exceed 75% of the lot.
- Minimum private open space requirements:
 - One (1) bedroom dwellings require a minimum 5m² with a minimum dimension of 1.2m;
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Fencing:

- Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 m in height unless vegetated (hedges etc.).
- Fencing for the boundaries of any lots that adjoin drainage reserve, open space or pedestrian pathways must not be constructed more than 1.5m in height with a solid component of 1.2m. The balance is to be at least 50% permeable.
- Fencing, which overlooks the 32m wide "Ripley Loop Road" (i.e. along the primary frontage of Lots 1-10, 28-35, 75-90, 427-429, 455-457, 467-469, 475-477, & 484-486 and secondary frontage of Lots 91, 463, 470, 502, 503, 524) must not be constructed more than 1.5m in height with a solid component of a maximum 1.2m. The balance is to be at least 50% permeable.

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- 'Duplex' lots are not permitted to be developed for only a single dwelling.
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- All duplex applications require compliance assessment against the approved Plan of Development and conditions of approval.
 - Multiple residential lots must comply with PDA Guideline 7: Low Rise Buildings, the checklist included within PDA Guideline No. 1: Residential 30 and conditions of approval.

Display Home Lots

- Carparking for development on the display home lots will be contained within the lots they are constructed on unless complying with Note 1 above.

High Density Development Easements

- High density development easements may apply for all small lots in accordance with the Land Title Act 1994.

Building Location Envelope

- Future development of single residential lots (including house construction, landscape and maintenance) to comply with the approved Bushfire Management Plan.
- Any Buildings must be constructed in accordance with Section 8 of Acoustic Works, Acoustic Report dated the 13th November 2023. Lots identified in the Report have been marked with an asterisk *.
- Terrace Lots, Row Lots, Dual Occupancies/Duplex and Multiple Residential (3 unit) Lots are subject to compliance assessment



SCALE 1:1500 @ A3



CLIENT
SEKISUI HOUSE
 PROJECT
PLAN OF DEVELOPMENT
 LOTS 1 & 2 ON SP326583
 (RIPLEY)

LOCAL AUTHORITY
 ECONOMIC DEVELOPMENT QUEENSLAND

NOTES
 (i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to ECONOMIC DEVELOPMENT QUEENSLAND for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation.
 LandPartners Pty Ltd accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii) or (iii) hereof.

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(iv) This plan may not be copied unless these notes are included.

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TOTAL	680	1093	8666m	5.139ha	3.404ha	Total Area 77.83ha	

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LEVEL DATUM	-		
LEVEL ORIGIN	-		
CONTOUR INTERVAL	-		
COMPUTER FILE	BRSS3649-RL3-93-20		
DRAWN	TKW/NME	DATE	13/11/2023
CHECKED	NME/TKW	DATE	13/11/2023
APPROVED	SRS	DATE	13/11/2023
UDN	BRSS3649-RL3-83-22	SHEET 3 OF 19	

Pursuant to the **Economic Development Act 2012**, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 21/2013/PDA

Date: 22 November 2023

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF RESOURCES.

LEGEND:

- Site Boundary
- Stage Boundary
- Primary Frontage (identified on corner & selected Terrace lots only)
- Built to Boundary Wall
- Access Easement
- Proposed Stairs Location
- Road Reserve
- Display Home Lots
- Housing Development Exclusion Area
- Primary Access
- Emergency Access (after 100 lots)
- Secondary Formal Access (after 300 lots)
- Proposed Detention Basin
- Future Development (Balance)

OPEN SPACE:

- Additional Planting in Road Reserve
- Open Space
- Drainage Reserve
- Environmental Protection Zone
- Neighbourhood Park

BUSHFIRE (obtained from MPN Consulting)

- BAL 40 Setback
- BAL 29 Setback
- Managed Bushfire Buffer
- BAL 19 Setback
- BAL 12.5 Setback

FLOOD INFORMATION (obtained from MPN Consulting)

- Q100
- Q20

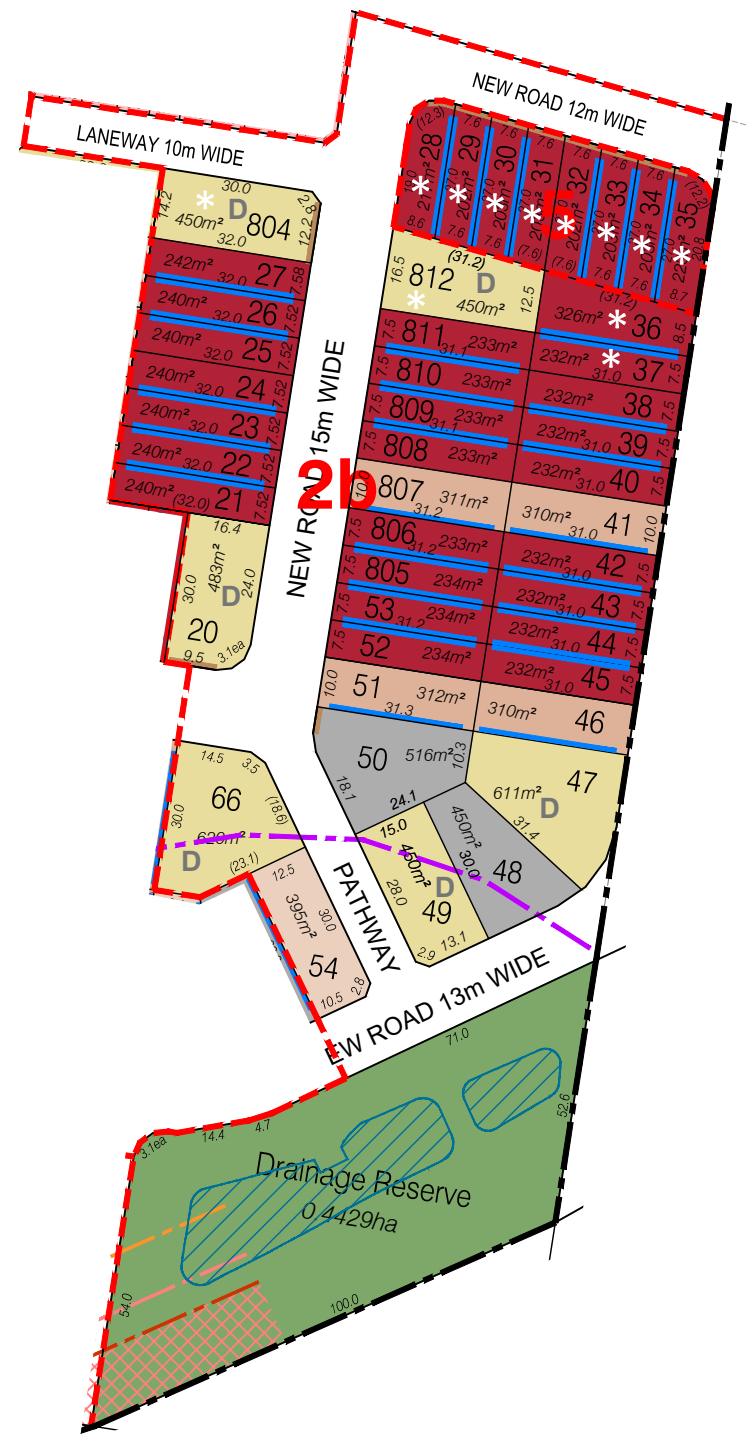
ACOUSTIC INFORMATION (obtained from Acoustic Works)

- Lots affected by Acoustic Report See Note 31 on Plan of Development

Site Development Table

	Row Lots		Terrace Lots		Villa Lots		Courtyard Lots (1)		Courtyard Lots (2)		Duplex	
	<7.5	>7.5	7.5m-9.9m	10m-12.4m	12.5m-14.9m	15m-19.9m	Ground	First	Ground	First	Ground	First
Primary Frontage	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4
Rear	0.9**	0.9	0.9	0.9	0.9	0.9	0.9	1	0.9	1	0.9	1
Side - General Lots												
Built to Boundary	0	0	0	0	0	1	0	1	0	1	0	1
Non-Built to Boundary	0	0	0	0	0.9	0.9	1	1	1	1.5	1	1.5
Corner Lots - Secondary Frontage	1**	1	1	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Laneway Lots												
Laneway Frontage	0	0	0	0	0	0	0	0	0	0	0	0
Garage (from Laneway Boundary)	0.25	0.25	0.25	0.25	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5

* 4.9 metres to garage or carport door.
 ** Where the boundary includes a retaining wall in excess of 1.5m in height on the low side, the setback is increased to 1.2m.



Pursuant to the Economic Development Act 2012, this plan forms part of the MEDQ Delegate's approval for Approval No.: 21/2013/PDA Date: 22 November 2023



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SCALE 1:1500 @ A3



CLIENT
SEKISUI HOUSE

PROJECT
PLAN OF DEVELOPMENT
LOTS 1 & 2 ON SP326583
(RIPLEY)

LOCAL AUTHORITY
ECONOMIC DEVELOPMENT QUEENSLAND

NOTES

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STAGE	No. OF LOTS	TITLES	NEW ROAD	OPEN SPACE PARK & TPZ	DRNG	TOTAL AREA	REFER TO SHEET
1	40	44	754m	-	-	3.196ha	2
1b	40	42	333m	-	-	2.108ha	4
2a	7	7	161m	-	-	1.078ha	4
2b	37	43	292m	-	0.443	2.088ha	5
3	10	10	268m	-	-	1.020ha	2
4	16	16	184m	-	-	0.446ha	2
5	8	8	-	-	-	0.166ha	5
6	29	37	322m	-	-	3.587ha	6
7	12	12	26m	-	-	0.278ha	3
8	14	15	73m	-	-	0.720ha	7
8a	-	-	123m	-	1.491ha	1.893ha	8
9	49	52	660m	-	-	2.776ha	8
10	72	79	1250m	-	0.195ha	4.957ha	9
11	41	46	620m	0.5ha	0.325ha	3.25ha	10
11a	1	60	125m	-	0.169ha	1.262ha	10
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18	51	56	460m	-	-	2.760ha	18
19	67	73	700m	-	-	3.734ha	19
Balance	2	158	155m	-	-	23.59ha	1
TOTAL	680	1093	8666m	5.139ha	3.404ha	Total Area 77.83ha	

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ISO 9001:2008
 FS 535063

LEVEL DATUM	-
LEVEL ORIGIN	-
CONTOUR INTERVAL	-
COMPUTER FILE	BRSS3649-RL3-93-20
DRAWN	TKW/NME
CHECKED	NME/TKW
APPROVED	SRS
UDN	BRSS3649-RL3-83-22

DATE 13/11/2023
 DATE 13/11/2023
 DATE 13/11/2023

SHEET 5 OF 19

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF RESOURCES.

LEGEND:

- Site Boundary
- Stage Boundary
- Primary Frontage (identified on corner & selected Terrace lots only)
- Built to Boundary Wall
- Access Easement
- Proposed Stairs Location
- Road Reserve
- Display Home Lots
- Housing Development Exclusion Area
- Primary Access
- Emergency Access (after 100 lots)
- Secondary Formal Access (after 300 lots)
- Proposed Detention Basin
- Future Development (Balance)

OPEN SPACE:

- Additional Planting in Road Reserve
- Open Space
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- Environmental Protection Zone
- Neighbourhood Park

BUSHFIRE (obtained from MPN Consulting)

- BAL 40 Setback
- BAL 29 Setback
- Managed Bushfire Buffer
- BAL 19 Setback
- BAL 12.5 Setback

FLOOD INFORMATION (obtained from MPN Consulting)

- Q100
- Q20

ACOUSTIC INFORMATION (obtained from Acoustic Works)

- Lots affected by Acoustic Report See Note 31 on Plan of Development

Site Development Table	Row Lots		Terrace Lots		Villa Lots		Courtyard Lots (1)		Courtyard Lots (2)		Duplex	
	<7.5	>7.5	7.5m-9.9m	10m-12.4m	12.5m-14.9m	15m-19.9m	Ground	First	Ground	First	Ground	First
Primary Frontage	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4
Rear	0.9*	0.9	0.9	0.9	0.9	0.9	0.9	1	0.9	1	0.9	1
Side - General Lots												
Built to Boundary	0	0	0	0	0	1	0	1	0	1	0	1
Non-Built to Boundary	0	0	0	0	0.9	0.9	1	1	1	1.5	1	1.5
Corner Lots - Secondary Frontage	1	1	1	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Laneway Lots												
Laneway Frontage	0	0	0	0	0	0	0	0	0	0	0	0
Garage (from Laneway Boundary)	0.25	0.25	0.25	0.25	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5

* 4.9 metres to garage or carport door.
 ** Where the boundary includes a retaining wall in excess of 1.5m in height on the low side, the setback is increased to 1.2m.

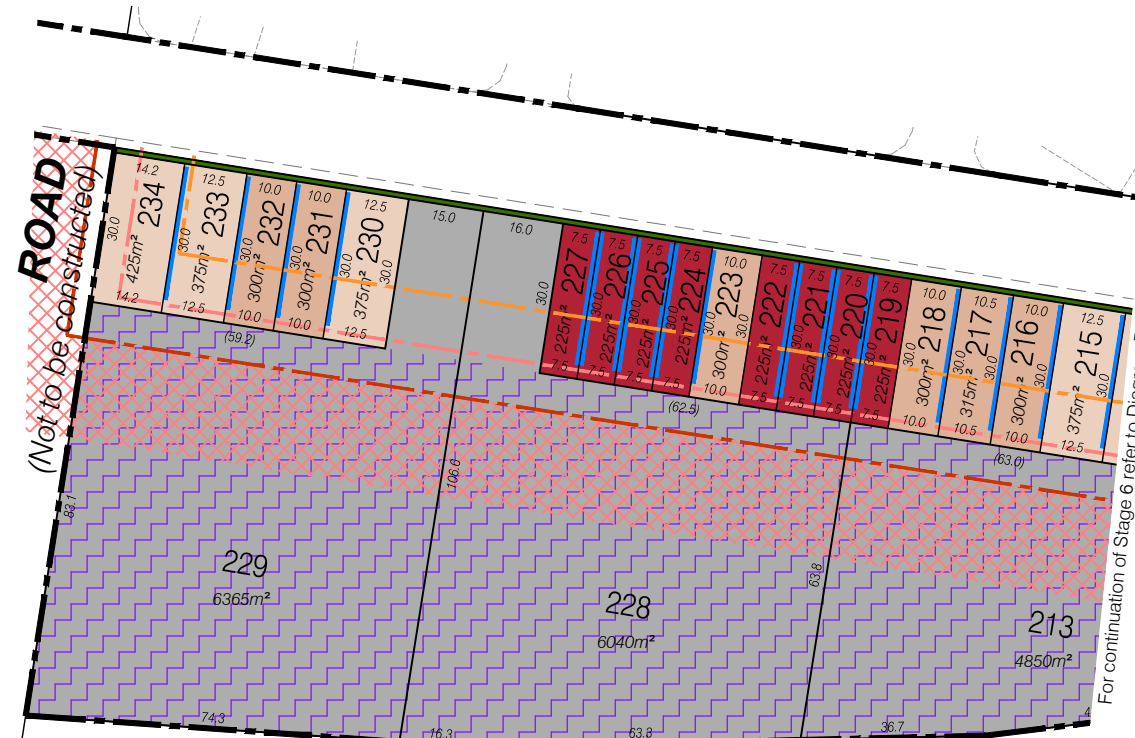
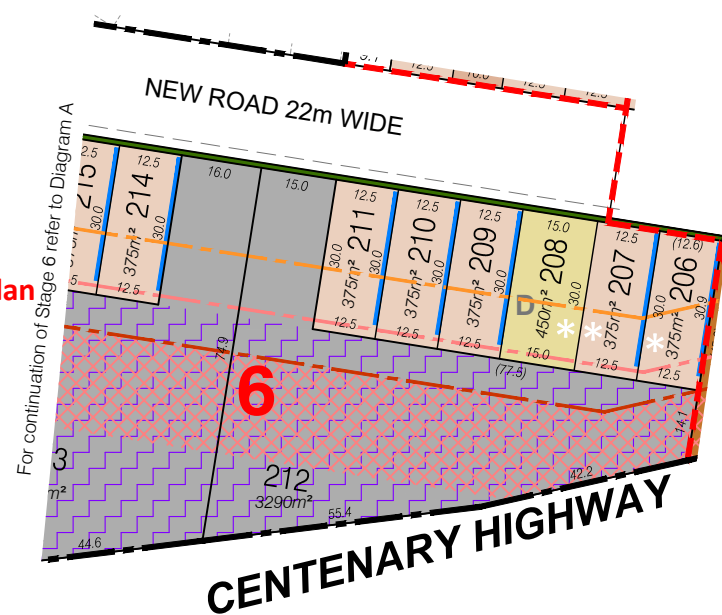


DIAGRAM A

Scale: 1:1500 @ A3

DIAGRAM B

Scale: 1:1500 @ A3



Pursuant to the **Economic Development Act 2012**, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 21/2013/PDA

Date: 22 November 2023



General:

- All development is to be undertaken generally in accordance with the Development Approval.
- The notes contained within this Plan of Development apply also to the display home lots.
- The Display Homes and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
- The Ancillary Car Park and all associated improvements will be removed, and the site fully remediated once the Sales Centre has ceased operation.
- The maximum height of building on all lots must not exceed 2 storeys and 9m.

Orientation:

- Front doors of dwellings are generally to address the Primary Street Frontage identified on the Plan of Development. Except for:
 - Lots 10 metres wide or less where the front entry (including side entrances) to all dwellings must be clearly defined, with elements such as a direct path and separate covered area at the front door. All dwellings should have a habitable room with windows facing onto the street to improve passive surveillance.
- If a duplex corner lot then the units should address each frontage (except on a laneway frontage).
- Primary street frontage must contain pedestrian access and mail boxes with the appropriate street numbers.
- For the Lots 91, 463, 470, 502, 503 & 524 the frontage facing the internal 32m wide "Ripley Loop road" must be activated by the use of two or more of the following:
 - Verandahs/ porches;
 - Awnings and shade structures;
 - Variation to roof and building lines;
 - Inclusion of window openings; & (e) Use of varying building materials

Setbacks:

- Setbacks are as per the Site Development Table unless otherwise specified.
- Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Plan of Development for each stage. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
- Built to boundary walls on lots greater than 10m wide are to have a maximum length of 15m and a maximum height of 3.5m.
- Buildings on lots less than 10m wide may be built to more than one boundary only where indicated on the plan of development.
 - Built to boundary walls where indicated on the plan of development are mandatory for row and terrace lots.
- Boundary setbacks are measured to the wall of the structure.
- Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2100mm.

Parking:

- Minimum off-street parking requirements
 - One (1) and two (2) bedroom dwellings require a minimum one (1) covered space per dwelling; and
 - Three (3) or more bedroom dwellings require two (2) spaces per dwellings, one which must be capable of being covered (may be provided in tandem).
- Lots less than 12.5m wide are to have a single width garage with a tandem parking space provided in front of the garage. However, double garages may be permitted where:
 - A single storey dwelling is provided on a lot with a width of 10m or more and the garage is setback at least 800mm behind the face of the main dwelling; or
 - A double storey dwelling is provided on a lot with a width less than 12.5 metres and a 1m upper storey or roof projection is provided over at least 50% of the garage opening width and both 17(c) and 17(d) are achieved;
 - All dwellings are to have a window or balcony from a habitable room overlooking the street.
 - The garage door width is to be a maximum of 6 metres or 50% of the width of the lot at the garage setback facade, whichever is the lesser.
- Parking spaces on driveways do not have to comply with AS2890.
- All dwellings which are served off a Laneway must orientate their garages and carports to the Laneway—except for lots 11, 101-110, 804 & 813 which are to orientate garages and carports towards the primary frontage.

Site Cover and Amenity:

- Site cover for each lot is not to exceed 65% of the lot. Except for lots under 10m wide and Duplex Lots which are not to exceed 75% of the lot.
- Minimum private open space requirements:
 - One (1) bedroom dwellings require a minimum 5m² with a minimum dimension of 1.2m;
 - Two (2) bedroom dwellings require a minimum 9m² with a minimum dimension of 2.4m;
 - Three (3) bedroom dwellings require a minimum 12m² with a minimum dimension of 2.4m

Fencing:

- Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 m in height unless vegetated (hedges etc.).
- Fencing for the boundaries of any lots that adjoin drainage reserve, open space or pedestrian pathways must not be constructed more than 1.5m in height with a solid component of 1.2m. The balance is to be at least 50% permeable.
- Fencing, which overlooks the 32m wide "Ripley Loop Road" (i.e. along the primary frontage of Lots 1-10, 28-35, 75-90, 427-429, 455-457, 467-469, 475-477, & 484-486 and secondary frontage of Lots 91, 463, 470, 502, 503, 524) must not be constructed more than 1.5m in height with a solid component of a maximum 1.2m. The balance is to be at least 50% permeable.

Duplex Lots:

- 'Duplex' lots are not permitted to be developed for only a single dwelling.
- The number of dwellings per 'Duplex' lot is 2 dwellings.
- All duplex applications require compliance assessment against the approved Plan of Development and conditions of approval.
 - Multiple residential lots must comply with PDA Guideline 7: Low Rise Buildings, the checklist included within PDA Guideline No. 1: Residential 30 and conditions of approval.

Display Home Lots

- Carparking for development on the display home lots will be contained within the lots they are constructed on unless complying with Note 1 above.

High Density Development Easements

- High density development easements may apply for all small lots in accordance with the Land Title Act 1994.

Building Location Envelope

- Future development of single residential lots (including house construction, landscape and maintenance) to comply with the approved Bushfire Management Plan.
- Any Buildings must be constructed in accordance with Section 8 of Acoustic Works, Acoustic Report dated the 13th November 2023. Lots identified in the Report have been marked with an asterisk *.
- Terrace Lots, Row Lots, Dual Occupancies/Duplex and Multiple Residential (3 unit) Lots are subject to compliance assessment



SCALE 1:1500 @ A3



CLIENT
SEKISUI HOUSE
 PROJECT
PLAN OF DEVELOPMENT
 LOTS 1 & 2 ON SP326583
 (RIPLEY)

LOCAL AUTHORITY
 ECONOMIC DEVELOPMENT QUEENSLAND

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DATE	13/11/2023
UDN	BRSS3649-RL3-83-22

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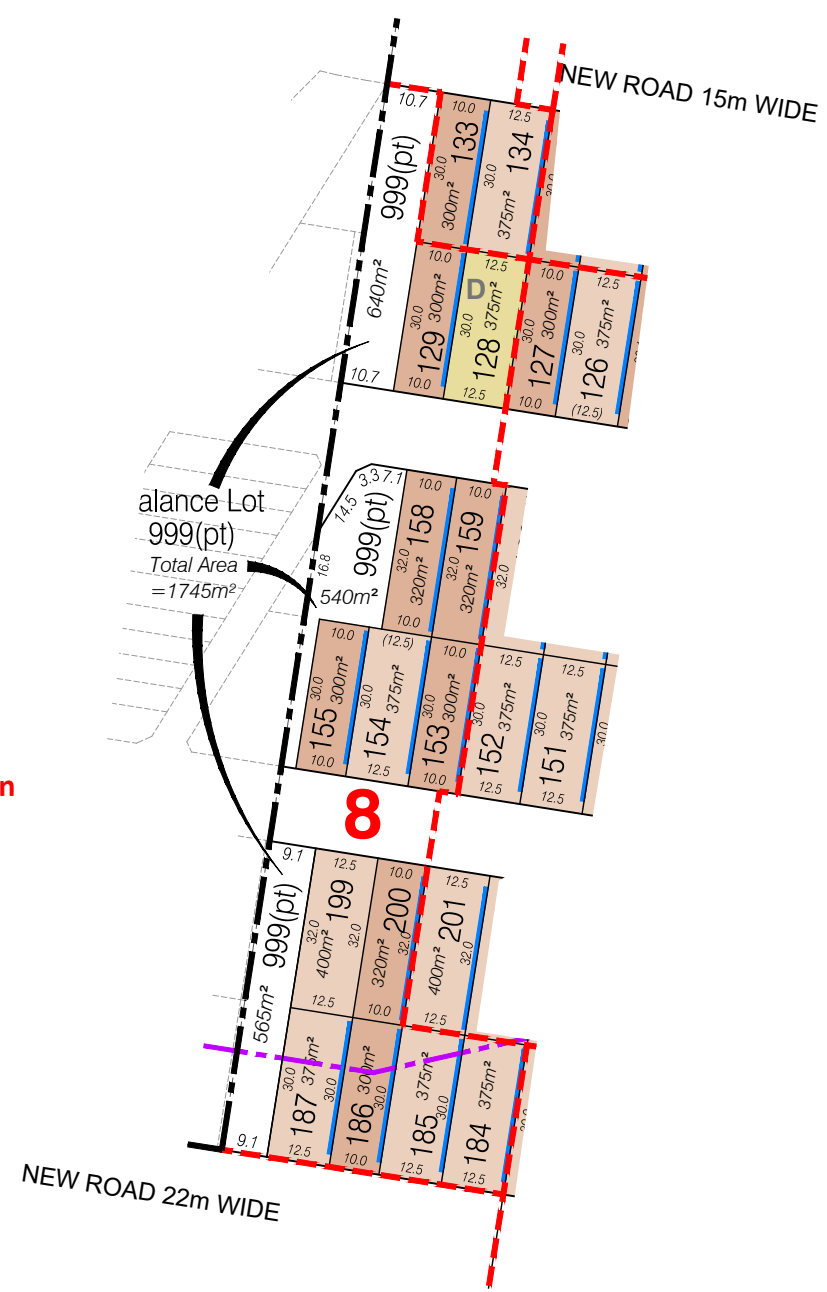
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Rear	0.9*	0.9	0.9	0.9	0.9	0.9	0.9	1	0.9	1	0.9	1
Side - General Lots	0	0	0	0	0	1	0	1	0	1	0	1
Built to Boundary	0	0	0	0	0	0.9	0.9	1	1	1.5	1	1.5
Non-Built to Boundary	0	0	0	0	0.9	0.9	1	1	1	1.5	1	1.5
Corner Lots - Secondary Frontage	1	1	1	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Laneway Frontage	0	0	0	0	0	0	0	0	0	0	0	0
Garage (from Laneway Boundary)	0.25	0.25	0.25	0.25	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5

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Pursuant to the **Economic Development Act 2012**, this plan forms part of the **MEDQ Delegate's approval** for **Approval No.: 21/2013/PDA** **Date: 22 November 2023**



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SCALE 1:1500 @ A3



CLIENT **SEKISUI HOUSE**
 PROJECT **PLAN OF DEVELOPMENT LOTS 1 & 2 ON SP326583 (RIPLEY)**

LOCAL AUTHORITY **ECONOMIC DEVELOPMENT QUEENSLAND**

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TOTAL	680	1093	8666m	5.139ha	3.404ha	Total Area 77.83ha	

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 FS 535063

LEVEL DATUM	-		
LEVEL ORIGIN	-		
CONTOUR INTERVAL	-		
COMPUTER FILE	BRSS3649-RL3-93-20		
DRAWN	TKW/NME	DATE	13/11/2023
CHECKED	NME/TKW	DATE	13/11/2023
APPROVED	SRS	DATE	13/11/2023
UDN	BRSS3649-RL3-83-22	SHEET 7 OF 19	

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF RESOURCES.

LEGEND:

- Site Boundary
- Stage Boundary
- Primary Frontage (identified on corner & selected Terrace lots only)
- Built to Boundary Wall
- Access Easement
- Proposed Stairs Location
- Road Reserve
- Display Home Lots
- Housing Development Exclusion Area
- Primary Access
- Emergency Access (after 100 lots)
- Secondary Formal Access (after 300 lots)
- Proposed Detention Basin
- Future Development (Balance)

OPEN SPACE:

- Additional Planting in Road Reserve
- Open Space
- Drainage Reserve
- Environmental Protection Zone
- Neighbourhood Park

BUSHFIRE (obtained from MPN Consulting)

- BAL 40 Setback
- BAL 29 Setback
- Managed Bushfire Buffer
- BAL 19 Setback
- BAL 12.5 Setback

FLOOD INFORMATION (obtained from MPN Consulting)

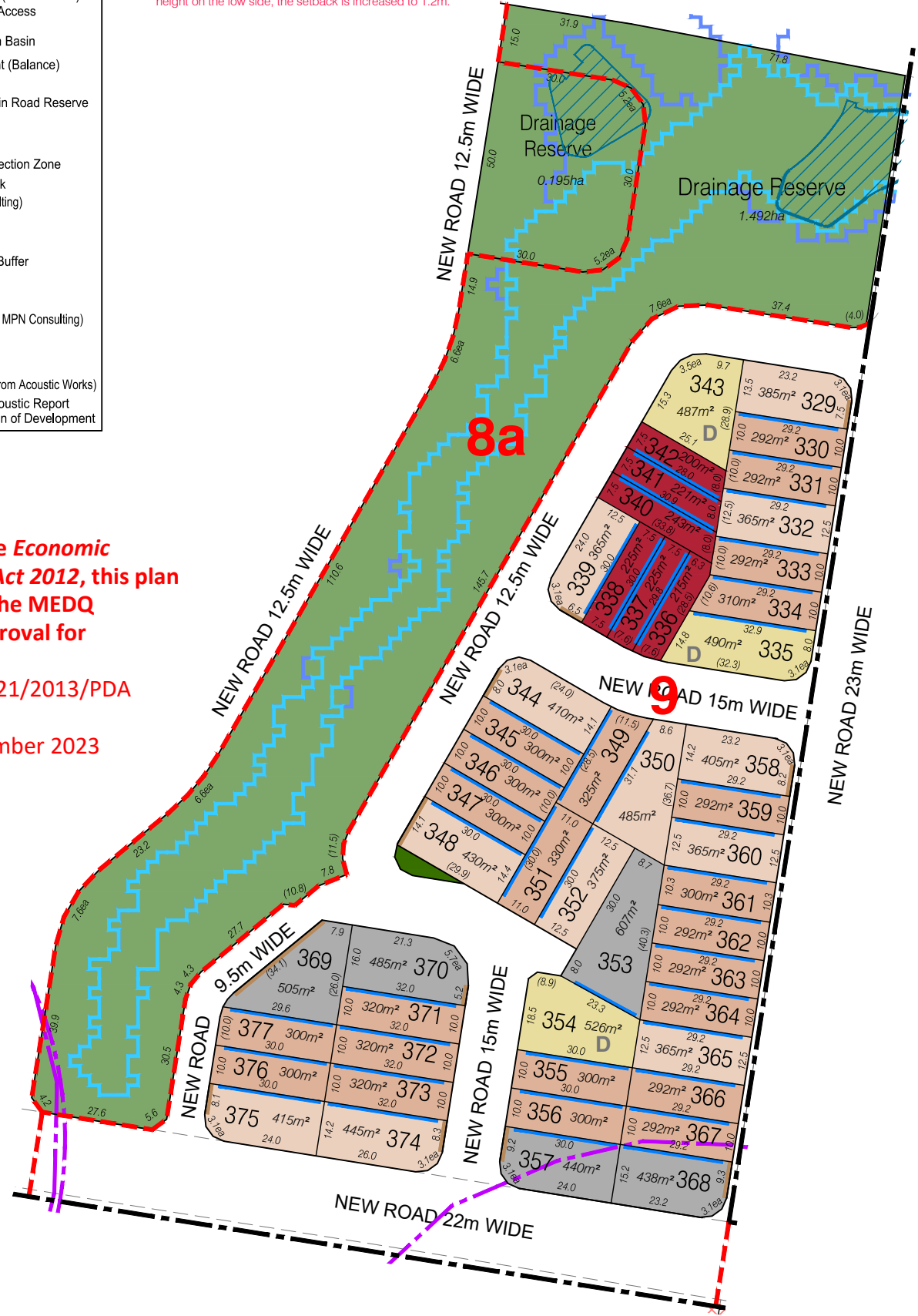
- Q100
- Q20

ACOUSTIC INFORMATION (obtained from Acoustic Works)

- Lots affected by Acoustic Report
- See Note 31 on Plan of Development

Site Development Table	Row Lots		Terrace Lots		Villa Lots		Courtyard Lots (1)		Courtyard Lots (2)		Duplex	
	<7.5	>7.5	7.5m-9.9m	10m-12.4m	12.5m-14.9m	15m-19.9m	Ground	First	Ground	First	Ground	First
Primary Frontage	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4
Rear	0.9*	0.9	0.9	0.9	0.9	0.9	0.9	1	0.9	1	0.9	1
Side - General Lots	0	0	0	0	0	0	0	1	0	1	0	1
Built to Boundary	0	0	0	0	0	0	0	1	0	1	0	1
Non-Built to Boundary	0	0	0	0	0.9	0.9	1	1	1	1.5	1	1.5
Corner Lots - Secondary Frontage	1	1	1	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Laneway Lots	0	0	0	0	0	0	0	0	0	0	0	0
Laneway Frontage	0	0	0	0	0	0	0	0	0	0	0	0
Garage (from Laneway Boundary)	0.25	0.25	0.25	0.25	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5

* 4.9 metres to garage or carport door.
 ** Where the boundary includes a retaining wall in excess of 1.5m in height on the low side, the setback is increased to 1.2m.



Pursuant to the **Economic Development Act 2012**, this plan forms part of the MEDQ Delegate's approval for **Approval No.: 21/2013/PDA**
Date: 22 November 2023

- General:**
- All development is to be undertaken generally in accordance with the Development Approval.
 - The notes contained within this Plan of Development apply also to the display home lots.
 - The Display Homes and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
 - The Ancillary Car Park and all associated improvements will be removed, and the site fully remediated once the Sales Centre has ceased operation.
 - The maximum height of building on all lots must not exceed 2 storeys and 9m.
- Orientation:**
- Front doors of dwellings are generally to address the Primary Street Frontage identified on the Plan of Development. Except for:
 - (a) Lots 10 metres wide or less where the front entry (including side entrances) to all dwellings must be clearly defined, with elements such as a direct path and separate covered area at the front door. All dwellings should have a habitable room with windows facing onto the street to improve passive surveillance.
 - If a duplex corner lot then the units should address each frontage (except on a laneway frontage).
 - Primary street frontage must contain pedestrian access and mail boxes with the appropriate street numbers.
 - For the Lots 91, 463, 470, 502, 503 & 524 the frontage facing the internal 32m wide "Ripley Loop road" must be activated by the use of two or more of the following:
 - (a) Verandahs/ porches; (b) Awnings and shade structures; (c) Variation to roof and building lines; (d) Inclusion of window openings; & (e) Use of varying building materials
- Setbacks:**
- Setbacks are as per the Site Development Table unless otherwise specified.
 - Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Plan of Development for each stage. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
 - Built to boundary walls on lots greater than 10m wide are to have a maximum length of 15m and a maximum height of 3.5m.
 - Buildings on lots less than 10m wide may be built to more than one boundary only where indicated on the plan of development.
 - (a) Built to boundary walls where indicated on the plan of development are mandatory for row and terrace lots.
 - Boundary setbacks are measured to the wall of the structure.
 - Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2100mm.
- Parking:**
- Minimum off-street parking requirements
 - (a) One (1) and two (2) bedroom dwellings require a minimum one (1) covered space per dwelling; and
 - (b) Three (3) or more bedroom dwellings require two (2) spaces per dwellings, one which must be capable of being covered (may be provided in tandem).
 - Lots less than 12.5m wide are to have a single width garage with a tandem parking space provided in front of the garage. However, double garages may be permitted where:
 - (a) A single storey dwelling is provided on a lot with a width of 10m or more and the garage is setback at least 800mm behind the face of the main dwelling; or
 - (b) A double storey dwelling is provided on a lot with a width less than 12.5 metres and a 1m upper storey or roof projection is provided over at least 50% of the garage opening width and both 17(c) and 17(d) are achieved;
 - (c) All dwellings are to have a window or balcony from a habitable room overlooking the street.
 - (d) The garage door width is to be a maximum of 6 metres or 50% of the width of the lot at the garage setback facade, whichever is the lesser.
 - Parking spaces on driveways do not have to comply with AS2890.
 - All dwellings which are served off a Laneway must orientate their garages and carports to the Laneway—except for lots 11, 101-110, 804 & 813 which are to orientate garages and carports towards the primary frontage.
- Site Cover and Amenity:**
- Site cover for each lot is not to exceed 65% of the lot. Except for lots under 10m wide and Duplex Lots which are not to exceed 75% of the lot.
 - Minimum private open space requirements:
 - (a) One (1) bedroom dwellings require a minimum 5m² with a minimum dimension of 1.2m;
 - (b) Two (2) bedroom dwellings require a minimum 9m² with a minimum dimension of 2.4m;
 - (c) Three (3) bedroom dwellings require a minimum 12m² with a minimum dimension of 2.4m
- Fencing:**
- Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 m in height unless vegetated (hedges etc.).
 - Fencing for the boundaries of any lots that adjoin drainage reserve, open space or pedestrian pathways must not be constructed more than 1.5m in height with a solid component of 1.2m. The balance is to be at least 50% permeable.
 - Fencing, which overlooks the 32m wide "Ripley Loop Road" (i.e. along the primary frontage of Lots 1-10, 28-35, 75-90, 427-429, 455-457, 467-469, 475-477, & 484-486 and secondary frontage of Lots 91, 463, 470, 502, 503, 524) must not be constructed more than 1.5m in height with a solid component of a maximum 1.2m. The balance is to be at least 50% permeable.
- Duplex Lots:**
- 'Duplex' lots are not permitted to be developed for only a single dwelling.
 - The number of dwellings per 'Duplex' lot is 2 dwellings.
 - All duplex applications require compliance assessment against the approved Plan of Development and conditions of approval.
 - (a) Multiple residential lots must comply with PDA Guideline 7: Low Rise Buildings, the checklist included within PDA Guideline No. 1: Residential 30 and conditions of approval.
- Display Home Lots**
- Carparking for development on the display home lots will be contained within the lots they are constructed on unless complying with Note 1 above.
- High Density Development Easements**
- High density development easements may apply for all small lots in accordance with the Land Title Act 1994.
- Building Location Envelope**
- Future development of single residential lots (including house construction, landscape and maintenance) to comply with the approved Bushfire Management Plan.
 - Any Buildings must be constructed in accordance with Section 8 of Acoustic Works, Acoustic Report dated the 13th November 2023. Lots identified in the Report have been marked with an asterisk *.
 - Terrace Lots, Row Lots, Dual Occupancies/Duplex and Multiple Residential (3 unit) Lots are subject to compliance assessment



SCALE 1:1500 @ A3



CLIENT
SEKISUI HOUSE

PROJECT
PLAN OF DEVELOPMENT
 LOTS 1 & 2 ON SP326583
 (RIPLEY)

LOCAL AUTHORITY
 ECONOMIC DEVELOPMENT QUEENSLAND

NOTES

(i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to ECONOMIC DEVELOPMENT QUEENSLAND for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Pty Ltd accepts no responsibility for any loss or damage suffered howsoever arising to any person of corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii) or (iii) hereof.

(iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natural Resources, Mines and Energy.

(iv) This plan may not be copied unless these notes are included.

STAGE	No. OF LOTS	TITLES	NEW ROAD	OPEN SPACE PARK & TPZ	DRNG	TOTAL AREA	REFER TO SHEET
1	40	44	754m	-	-	3.196ha	2
1b	40	42	333m	-	-	2.108ha	4
2a	7	7	161m	-	-	1.078ha	4
2b	37	43	292m	-	0.443	2.088ha	5
3	10	10	268m	-	-	1.020ha	2
4	16	16	184m	-	-	0.446ha	2
5	8	8	-	-	-	0.166ha	5
6	29	37	322m	-	-	3.587ha	6
7	12	12	26m	-	-	0.278ha	3
8	14	15	73m	-	-	0.720ha	7
8a	-	-	123m	-	1.491ha	1.893ha	8
9	49	52	660m	-	-	2.776ha	8
10	72	79	1250m	-	0.195ha	4.957ha	9
11	41	46	620m	0.5ha	0.325ha	3.25ha	10
11a	1	60	125m	-	0.169ha	1.262ha	10
12	25	29	60m	-	-	1.123ha	9
13	9	10	-	-	-	0.325ha	11
14	63	206	1235m	4.639ha	0.780ha	12.940ha	12,13,14
15	19	19	140m	-	-	1.053ha	15
16	50	53	585m	-	-	2.889ha	16
17	18	18	130m	-	-	0.577ha	17
18	51	56	460m	-	-	2.760ha	18
19	67	73	700m	-	-	3.734ha	19
Balance	2	158	155m	-	-	23.59ha	1
TOTAL	680	1093	8666m	5.139ha	3.404ha	Total Area 77.83ha	



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LEVEL DATUM -

LEVEL ORIGIN -

CONTOUR INTERVAL -

COMPUTER FILE BRSS3649-RL3-93-20

DRAWN	TKW/NME	DATE	13/11/2023
CHECKED	NME/TKW	DATE	13/11/2023
APPROVED	SRS	DATE	13/11/2023

UDN BRSS3649-RL3-83-22 SHEET 8 OF 19

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF RESOURCES.

LEGEND:

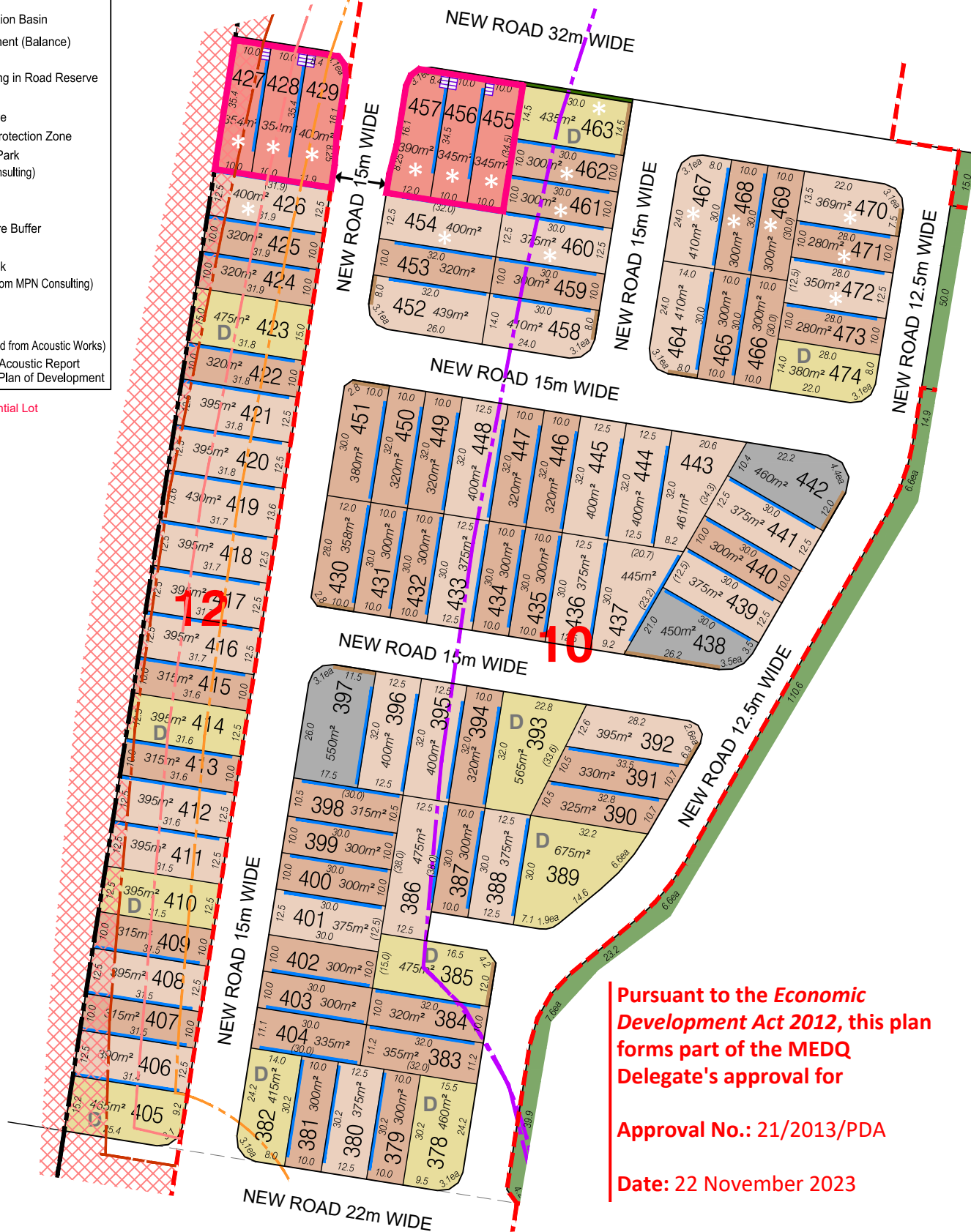
- Site Boundary
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- Primary Frontage (identified on corner & selected Terrace lots only)
- Built to Boundary Wall
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- Display Home Lots
- Housing Development Exclusion Area
- Primary Access
- Emergency Access (after 100 lots)
- Secondary Formal Access (after 300 lots)
- Proposed Detention Basin
- Future Development (Balance)
- OPEN SPACE:**
- Additional Planting in Road Reserve
- Open Space
- Drainage Reserve
- Environmental Protection Zone
- Neighbourhood Park
- BUSHFIRE (obtained from MPN Consulting)**
- BAL 40 Setback
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- FLOOD INFORMATION (obtained from MPN Consulting)**
- Q100
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- ACOUSTIC INFORMATION (obtained from Acoustic Works)**
- Lots affected by Acoustic Report See Note 31 on Plan of Development

Multiple Residential Lot (3 units)

access

Site Development Table	Row Lots		Terrace Lots		Villa Lots		Courtyard Lots (1)		Courtyard Lots (2)		Duplex	
	<7.5	>7.5	7.5m-9.9m	10m-12.4m	12.5m-14.9m	15m-19.9m	Ground	First	Ground	First	Ground	First
Primary Frontage	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4
Rear	0.9	0.9	0.9	0.9	0.9	0.9	0.9	1	0.9	1	0.9	1
Side - General Lots	0	0	0	0	0	1	0	1	0	1	0	1
Built to Boundary	0	0	0	0	0	1	0	1	0	1	0	1
Non-Built to Boundary	0	0	0	0	0.9	0.9	1	1	1	1.5	1	1.5
Corner Lots - Secondary Frontage	1	1	1	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Laneway Lots	0	0	0	0	0	0	0	0	0	0	0	0
Garage (from Laneway Boundary)	0.25	0.25	0.25	0.25	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5

* 4.9 metres to garage or carport door.
 ** Where the boundary includes a retaining wall in excess of 1.5m in height on the low side, the setback is increased to 1.2m.



Pursuant to the Economic Development Act 2012, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 21/2013/PDA

Date: 22 November 2023

General:

1. All development is to be undertaken generally in accordance with the Development Approval.
2. The notes contained within this Plan of Development apply also to the display home lots.
3. The Display Homes and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
4. ~~The Ancillary Car Park and all associated improvements will be removed, and the site fully remediated once the Sales Centre has ceased operation.~~
5. The maximum height of building on all lots must not exceed 2 storeys and 9m.

Orientation:

6. Front doors of dwellings are generally to address the Primary Street Frontage identified on the Plan of Development. Except for:
 - (a) Lots 10 metres wide or less where the front entry (including side entrances) to all dwellings must be clearly defined, with elements such as a direct path and separate covered area at the front door. All dwellings should have a habitable room with windows facing onto the street to improve passive surveillance.
7. If a duplex corner lot then the units should address each frontage (except on a laneway frontage).
8. Primary street frontage must contain pedestrian access and mail boxes with the appropriate street numbers.
9. For the Lots 91, 463, 470, 502, 503 & 524 the frontage facing the internal 32m wide "Ripley Loop road" must be activated by the use of two or more of the following:
 - (a) Verandahs/ porches;
 - (b) Awnings and shade structures;
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 - (d) Inclusion of window openings; & (e) Use of varying building materials

Setbacks:

10. Setbacks are as per the Site Development Table unless otherwise specified.
11. Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Plan of Development for each stage. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
12. Built to boundary walls on lots greater than 10m wide are to have a maximum length of 15m and a maximum height of 3.5m.
13. Buildings on lots less than 10m wide may be built to more than one boundary only where indicated on the plan of development.
 - (a) Built to boundary walls where indicated on the plan of development are mandatory for row and terrace lots.
14. Boundary setbacks are measured to the wall of the structure.
15. Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2100mm.

Parking:

16. Minimum off-street parking requirements
 - (a) One (1) and two (2) bedroom dwellings require a minimum one (1) covered space per dwelling; and
 - (b) Three (3) or more bedroom dwellings require two (2) spaces per dwellings, one which must be capable of being covered (may be provided in tandem).
17. Lots less than 12.5m wide are to have a single width garage with a tandem parking space provided in front of the garage. However, double garages may be permitted where:
 - (a) A single storey dwelling is provided on a lot with a width of 10m or more and the garage is setback at least 800mm behind the face of the main dwelling; or
 - (b) A double storey dwelling is provided on a lot with a width less than 12.5 metres and a 1m upper storey or roof projection is provided over at least 50% of the garage opening width and both 17(c) and 17(d) are achieved;
 - (c) All dwellings are to have a window or balcony from a habitable room overlooking the street.
 - (d) The garage door width is to be a maximum of 6 metres or 50% of the width of the lot at the garage setback facade, whichever is the lesser.
18. Parking spaces on driveways do not have to comply with AS2890.
19. All dwellings which are served off a Laneway must orientate their garages and carports to the Laneway—except for lots 11, 101-110, 804 & 813 which are to orientate garages and carports towards the primary frontage.

Site Cover and Amenity:

20. Site cover for each lot is not to exceed 65% of the lot. Except for lots under 10m wide and Duplex Lots which are not to exceed 75% of the lot.
21. Minimum private open space requirements:
 - (a) One (1) bedroom dwellings require a minimum 5m² with a minimum dimension of 1.2m;
 - (b) Two (2) bedroom dwellings require a minimum 9m² with a minimum dimension of 2.4m;
 - (c) Three (3) bedroom dwellings require a minimum 12m² with a minimum dimension of 2.4m

Fencing:

22. Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 m in height unless vegetated (hedges etc.).
23. Fencing for the boundaries of any lots that adjoin drainage reserve, open space or pedestrian pathways must not be constructed more than 1.5m in height with a solid component of 1.2m. The balance is to be at least 50% permeable.
24. Fencing, which overlooks the 32m wide "Ripley Loop Road" (i.e. along the primary frontage of Lots 1-10, 28-35, 75-90, 427-429, 455-457, 467-469, 475-477, & 484-486 and secondary frontage of Lots 91, 463, 470, 502, 503, 524) must not be constructed more than 1.5m in height with a solid component of a maximum 1.2m. The balance is to be at least 50% permeable.

Duplex Lots:

25. 'Duplex' lots are not permitted to be developed for only a single dwelling.
26. The number of dwellings per 'Duplex' lot is 2 dwellings.
27. All duplex applications require compliance assessment against the approved Plan of Development and conditions of approval.
 - (a) Multiple residential lots must comply with PDA Guideline 7: Low Rise Buildings, the checklist included within PDA Guideline No. 1: Residential 30 and conditions of approval.
28. Carparking for development on the display home lots will be contained within the lots they are constructed on unless complying with Note 1 above.

High Density Development Easements

29. High density development easements may apply for all small lots in accordance with the Land Title Act 1994.

Building Location Envelope

30. Future development of single residential lots (including house construction, landscape and maintenance) to comply with the approved Bushfire Management Plan.
31. Any Buildings must be constructed in accordance with Section 8 of Acoustic Works, Acoustic Report dated the 13th November 2023. Lots identified in the Report have been marked with an asterisk *.
32. Terrace Lots, Row Lots, Dual Occupancies/Duplex and Multiple Residential (3 unit) Lots are subject to compliance assessment



SCALE 1:1500 @ A3



CLIENT
SEKISUI HOUSE

PROJECT
PLAN OF DEVELOPMENT
 LOTS 1 & 2 ON SP326583
 (RIPLEY)

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NOTES
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(iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natural Resources, Mines and Energy.

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15	19	19	140m	-	-	1.053ha	15
16	50	53	585m	-	-	2.889ha	16
17	18	18	130m	-	-	0.577ha	17
18	51	56	460m	-	-	2.760ha	18
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LEVEL DATUM	-		
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COMPUTER FILE	BRSS3649-RL3-93-20		
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UDN	BRSS3649-RL3-83-22	SHEET 9 OF 19	

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF RESOURCES.

LEGEND:

- Site Boundary
- Stage Boundary
- Primary Frontage (identified on corner & selected Terrace lots only)
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- Primary Access
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OPEN SPACE:

- Additional Planting in Road Reserve
- Open Space
- Drainage Reserve
- Environmental Protection Zone
- Neighbourhood Park

BUSHFIRE (obtained from MPN Consulting)

- BAL 40 Setback
- BAL 29 Setback
- Managed Bushfire Buffer
- BAL 19 Setback
- BAL 12.5 Setback

FLOOD INFORMATION (obtained from MPN Consulting)

- Q100
- Q20

ACOUSTIC INFORMATION (obtained from Acoustic Works)

- Lots affected by Acoustic Report
- See Note 31 on Plan of Development

Multiple Residential Lot (3 units)

Site Development Table

	Row Lots		Terrace Lots		Villa Lots		Courtyard Lots (1)		Courtyard Lots (2)		Duplex	
	Ground	First	Ground	First	Ground	First	Ground	First	Ground	First	Ground	First
Primary Frontage	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4
Rear	0.9	0.9	0.9	0.9	0.9	0.9	0.9	1	0.9	1	0.9	1
Side - General Lots	0	0	0	0	0	0	0	1	0	1	0	1
Built to Boundary	0	0	0	0	0	0	0	1	0	1	0	1
Non-Built to Boundary	0	0	0	0	0.9	0.9	1	1	1	1.5	1	1.5
Corner Lots - Secondary Frontage	1	1	1	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Laneway Lots	0	0	0	0	0	0	0	0	0	0	0	0
Laneway Frontage	0	0	0	0	0	0	0	0	0	0	0	0
Garage (from Laneway Boundary)	0.25	0.25	0.25	0.25	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5

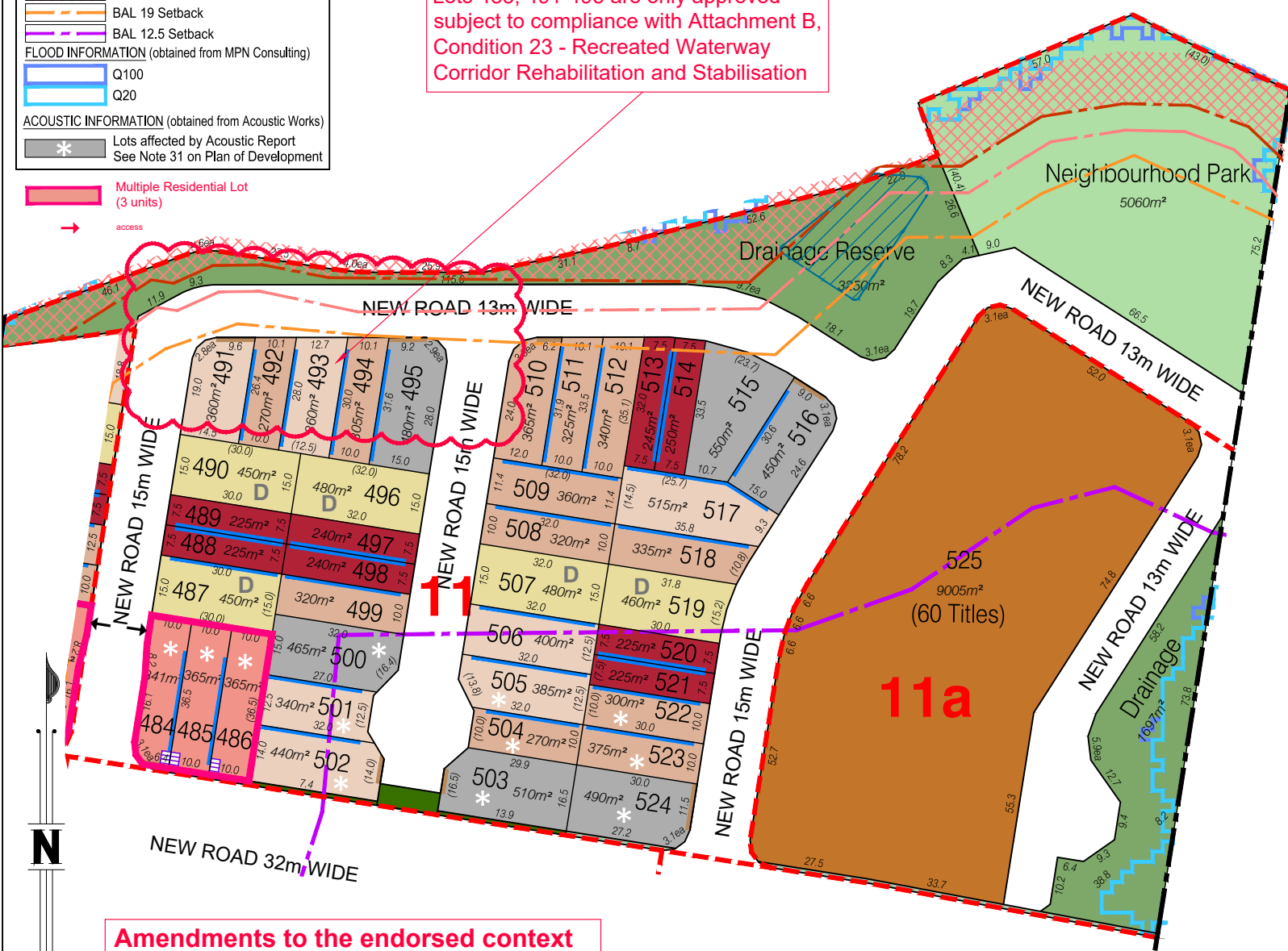
* 4.9 metres to garage or carport door.
 ** Where the boundary includes a retaining wall in excess of 1.5m in height on the low side, the setback is increased to 1.2m.

Pursuant to the Economic Development Act 2012, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 21/2013/PDA

Date: 22 November 2023

Lots 483, 491-495 are only approved subject to compliance with Attachment B, Condition 23 - Recreated Waterway Corridor Rehabilitation and Stabilisation



Amendments to the endorsed context plan (5940/2019/MAPDA) may be required in order to achieve densities nominated for Future Development and Future Development (Balance) Lots

General:

- All development is to be undertaken generally in accordance with the Development Approval.
- The notes contained within this Plan of Development apply also to the display home lots.
- The Display Homes and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
- The Ancillary Car Park and all associated improvements will be removed, and the site fully remediated once the Sales Centre has ceased operation.
- The maximum height of building on all lots must not exceed 2 storeys and 9m.

Orientation:

- Front doors of dwellings are generally to address the Primary Street Frontage identified on the Plan of Development. Except for:
 - (a) Lots 10 metres wide or less where the front entry (including side entrances) to all dwellings must be clearly defined, with elements such as a direct path and separate covered area at the front door. All dwellings should have a habitable room with windows facing onto the street to improve passive surveillance.
- If a duplex corner lot then the units should address each frontage (except on a laneway frontage).
- Primary street frontage must contain pedestrian access and mail boxes with the appropriate street numbers.
- For the Lots 91, 463, 470, 502, 503 & 524 the frontage facing the internal 32m wide "Ripley Loop road" must be activated by the use of two or more of the following:
 - (a) Verandahs/ porches;
 - (b) Awnings and shade structures;
 - (c) Variation to roof and building lines;
 - (d) Inclusion of window openings; & (e) Use of varying building materials

Setbacks:

- Setbacks are as per the Site Development Table unless otherwise specified.
- Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Plan of Development for each stage. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
- Built to boundary walls on lots greater than 10m wide are to have a maximum length of 15m and a maximum height of 3.5m.
- Buildings on lots less than 10m wide may be built to more than one boundary only where indicated on the plan of development.
 - (a) Built to boundary walls where indicated on the plan of development are mandatory for row and terrace lots.
- Boundary setbacks are measured to the wall of the structure.
- Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2100mm.

Parking:

- Minimum off-street parking requirements
 - (a) One (1) and two (2) bedroom dwellings require a minimum one (1) covered space per dwelling; and
 - (b) Three (3) or more bedroom dwellings require two (2) spaces per dwellings, one which must be capable of being covered (may be provided in tandem).
- Lots less than 12.5m wide are to have a single width garage with a tandem parking space provided in front of the garage. However, double garages may be permitted where:
 - (a) A single storey dwelling is provided on a lot with a width of 10m or more and the garage is setback at least 800mm behind the face of the main dwelling; or
 - (b) A double storey dwelling is provided on a lot with a width less than 12.5 metres and a 1m upper storey or roof projection is provided over at least 50% of the garage opening width and both 17(c) and 17(d) are achieved;
 - (c) All dwellings are to have a window or balcony from a habitable room overlooking the street.
 - (d) The garage door width is to be a maximum of 6 metres or 50% of the width of the lot at the garage setback facade, whichever is the lesser.
- Parking spaces on driveways do not have to comply with AS2890.
- All dwellings which are served off a Laneway must orientate their garages and carports to the Laneway—except for lots 11, 101-110, 804 & 813 which are to orientate garages and carports towards the primary frontage.

Site Cover and Amenity:

- Site cover for each lot is not to exceed 65% of the lot. Except for lots under 10m wide and Duplex Lots which are not to exceed 75% of the lot.
- Minimum private open space requirements:
 - (a) One (1) bedroom dwellings require a minimum 5m² with a minimum dimension of 1.2m;
 - (b) Two (2) bedroom dwellings require a minimum 9m² with a minimum dimension of 2.4m;
 - (c) Three (3) bedroom dwellings require a minimum 12m² with a minimum dimension of 2.4m

Fencing:

- Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 m in height unless vegetated (hedges etc.).
- Fencing for the boundaries of any lots that adjoin drainage reserve, open space or pedestrian pathways must not be constructed more than 1.5m in height with a solid component of 1.2m. The balance is to be at least 50% permeable.
- Fencing, which overlooks the 32m wide "Ripley Loop Road" (i.e. along the primary frontage of Lots 1-10, 28-35, 75-90, 427-429, 455-457, 467-469, 475-477, & 484-486 and secondary frontage of Lots 91, 463, 470, 502, 503, 524) must not be constructed more than 1.5m in height with a solid component of a maximum 1.2m. The balance is to be at least 50% permeable.

Duplex Lots:

- 'Duplex' lots are not permitted to be developed for only a single dwelling.
- The number of dwellings per 'Duplex' lot is 2 dwellings.
- All duplex applications require compliance assessment against the approved Plan of Development and conditions of approval.
 - (a) Multiple residential lots must comply with PDA Guideline 7: Low Rise Buildings, the checklist included within PDA Guideline No. 1: Residential 30 and conditions of approval.

Display Home Lots

- Carparking for development on the display home lots will be contained within the lots they are constructed on unless complying with Note 1 above.

High Density Development Easements

- High density development easements may apply for all small lots in accordance with the Land Title Act 1994.

Building Location Envelope

- Future development of single residential lots (including house construction, landscape and maintenance) to comply with the approved Bushfire Management Plan.
- Any Buildings must be constructed in accordance with Section 8 of Acoustic Works, Acoustic Report dated the 13th November 2023. Lots identified in the Report have been marked with an asterisk *.
- Terrace Lots, Row Lots, Dual Occupancies/Duplex and Multiple Residential (3 unit) Lots are subject to compliance assessment



SCALE 1:1500 @ A3



CLIENT
SEKISUI HOUSE

PROJECT
PLAN OF DEVELOPMENT
LOTS 1 & 2 ON SP326583
(RIPLEY)

LOCAL AUTHORITY
ECONOMIC DEVELOPMENT QUEENSLAND

NOTES

(i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to ECONOMIC DEVELOPMENT QUEENSLAND for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Pty Ltd accepts no responsibility for any loss or damage suffered however arising to any person of corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii) or (iii) hereof.

(iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natural Resources, Mines and Energy.

(iv) This plan may not be copied unless these notes are included.

STAGE	No. OF LOTS	TITLES	NEW ROAD	OPEN SPACE PARK & TPZ	DRNG	TOTAL AREA	REFER TO SHEET
1	40	44	754m	-	-	3.196ha	2
1b	40	42	333m	-	-	2.108ha	4
2a	7	7	161m	-	-	1.078ha	4
2b	37	43	292m	-	0.443	2.088ha	5
3	10	10	268m	-	-	1.020ha	2
4	16	16	184m	-	-	0.446ha	2
5	8	8	-	-	-	0.166ha	5
6	29	37	322m	-	-	3.587ha	6
7	12	12	26m	-	-	0.278ha	3
8	14	15	73m	-	-	0.720ha	7
8a	-	-	123m	-	1.491ha	1.893ha	8
9	49	52	660m	-	-	2.776ha	8
10	72	79	1250m	-	0.195ha	4.957ha	9
11	41	46	620m	0.5ha	0.325ha	3.25ha	10
11a	1	60	125m	-	0.169ha	1.262ha	10
12	25	29	60m	-	-	1.123ha	9
13	9	10	-	-	-	0.325ha	11
14	63	206	1235m	4.639ha	0.780ha	12.940ha	12,13,14
15	19	19	140m	-	-	1.053ha	15
16	50	53	585m	-	-	2.889ha	16
17	18	18	130m	-	-	0.577ha	17
18	51	56	460m	-	-	2.760ha	18
19	67	73	700m	-	-	3.734ha	19
Balance	2	158	155m	-	-	23.59ha	1
TOTAL	680	1093	8666m	5.139ha	3.404ha	Total Area 77.83ha	



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ISO 9001:2008
 FS 535063

LEVEL DATUM -

LEVEL ORIGIN -

CONTOUR INTERVAL -

COMPUTER FILE BRSS3649-RL3-93-20

DRAWN TKW/NME **DATE** 13/11/2023

CHECKED NME/TKW **DATE** 13/11/2023

APPROVED SRS **DATE** 13/11/2023

UDN BRSS3649-RL3-83-22 **SHEET 10 OF 19**

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF RESOURCES.

LEGEND:

- Site Boundary
- Stage Boundary
- Primary Frontage (identified on corner & selected Terrace lots only)
- Built to Boundary Wall
- Access Easement
- Proposed Stairs Location
- Road Reserve
- Display Home Lots
- Housing Development Exclusion Area
- Primary Access
- Emergency Access (after 100 lots)
- Secondary Formal Access (after 300 lots)
- Proposed Detention Basin
- Future Development (Balance)

OPEN SPACE:

- Additional Planting in Road Reserve
- Open Space
- Drainage Reserve
- Environmental Protection Zone
- Neighbourhood Park

BUSHFIRE (obtained from MPN Consulting)

- BAL 40 Setback
- BAL 29 Setback
- Managed Bushfire Buffer
- BAL 19 Setback
- BAL 12.5 Setback

FLOOD INFORMATION (obtained from MPN Consulting)

- Q100
- Q20

ACOUSTIC INFORMATION (obtained from Acoustic Works)

- Lots affected by Acoustic Report See Note 31 on Plan of Development

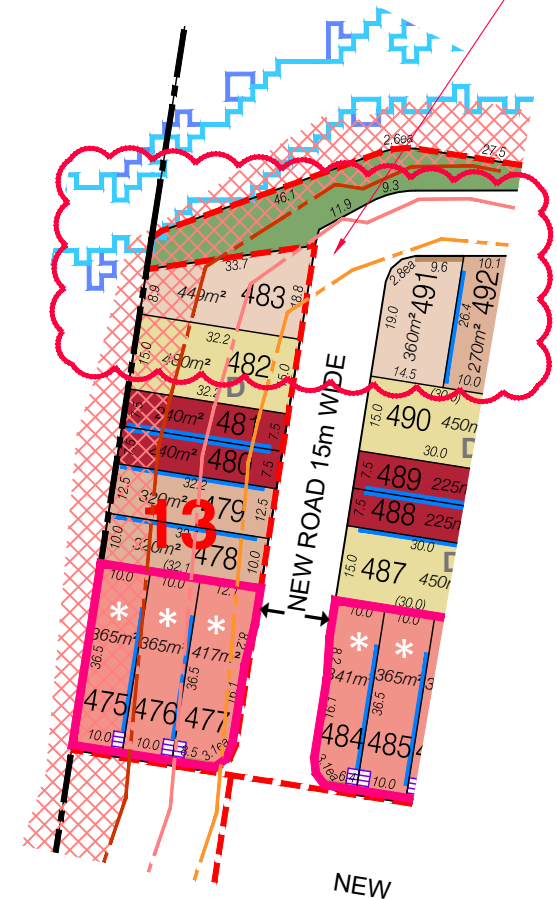
Multiple Residential Lot (3 units)

access

Site Development Table	Row Lots		Terrace Lots		Villa Lots		Courtyard Lots (1)		Courtyard Lots (2)		Duplex	
	<7.5	>7.5	7.5m-9.9m	10m-12.4m	12.5m-14.9m	15m-19.9m	Ground	First	Ground	First	Ground	First
Primary Frontage	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4
Rear	**0.9	0.9	0.9	0.9	0.9	0.9	0.9	1	0.9	1	0.9	1
Side - General Lots												
Built to Boundary	0	0	0	0	0	1	0	1	0	1	0	1
Non-Built to Boundary	**0	0	0	0	0.9	0.9	1	1	1	1.5	1	1.5
Corner Lots - Secondary Frontage	**1	1	1	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Laneway Frontage												
Garage (from Laneway Boundary)	0.25	0.25	0.25	0.25	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5

* 4.9 metres to garage or carport door.
 ** Where the boundary includes a retaining wall in excess of 1.5m in height on the low side, the setback is increased to 1.2m.

Lots 483, 491-495 are only approved subject to compliance with Attachment B, Condition 23 - Recreated Waterway Corridor Rehabilitation and Stabilisation



Pursuant to the **Economic Development Act 2012**, this plan forms part of the MEDQ Delegate's approval for **Approval No.: 21/2013/PDA**
Date: 22 November 2023



General:

- All development is to be undertaken generally in accordance with the Development Approval.
- The notes contained within this Plan of Development apply also to the display home lots.
- The Display Homes and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
- The Ancillary Car Park and all associated improvements will be removed, and the site fully remediated once the Sales Centre has ceased operation.
- The maximum height of building on all lots must not exceed 2 storeys and 9m.

Orientation:

- Front doors of dwellings are generally to address the Primary Street Frontage identified on the Plan of Development. Except for:
 - (a) Lots 10 metres wide or less where the front entry (including side entrances) to all dwellings must be clearly defined, with elements such as a direct path and separate covered area at the front door. All dwellings should have a habitable room with windows facing onto the street to improve passive surveillance.
- If a duplex corner lot then the units should address each frontage (except on a laneway frontage).
- Primary street frontage must contain pedestrian access and mail boxes with the appropriate street numbers.
- For the Lots 91, 463, 470, 502, 503 & 524 the frontage facing the internal 32m wide "Ripley Loop road" must be activated by the use of two or more of the following:
 - (a) Verandahs/ porches; (b) Awnings and shade structures; (c) Variation to roof and building lines; (d) Inclusion of window openings; & (e) Use of varying building materials

Setbacks:

- Setbacks are as per the Site Development Table unless otherwise specified.
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- Built to boundary walls on lots greater than 10m wide are to have a maximum length of 15m and a maximum height of 3.5m.
- Buildings on lots less than 10m wide may be built to more than one boundary only where indicated on the plan of development.
 - (a) Built to boundary walls where indicated on the plan of development are mandatory for row and terrace lots.
- Boundary setbacks are measured to the wall of the structure.
- Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2100mm.

Parking:

- Minimum off-street parking requirements
 - (a) One (1) and two (2) bedroom dwellings require a minimum one (1) covered space per dwelling; and
 - (b) Three (3) or more bedroom dwellings require two (2) spaces per dwellings, one which must be capable of being covered (may be provided in tandem).
- Lots less than 12.5m wide are to have a single width garage with a tandem parking space provided in front of the garage. However, double garages may be permitted where:
 - (a) A single storey dwelling is provided on a lot with a width of 10m or more and the garage is setback at least 800mm behind the face of the main dwelling; or
 - (b) A double storey dwelling is provided on a lot with a width less than 12.5 metres and a 1m upper storey or roof projection is provided over at least 50% of the garage opening width and both 17(c) and 17(d) are achieved;
 - (c) All dwellings are to have a window or balcony from a habitable room overlooking the street.
 - (d) The garage door width is to be a maximum of 6 metres or 50% of the width of the lot at the garage setback facade, whichever is the lesser.
- Parking spaces on driveways do not have to comply with AS2890.
- All dwellings which are served off a Laneway must orientate their garages and carports to the Laneway--except for lots 11, 101-110, 804 & 813 which are to orientate garages and carports towards the primary frontage.

Site Cover and Amenity:

- Site cover for each lot is not to exceed 65% of the lot. Except for lots under 10m wide and Duplex Lots which are not to exceed 75% of the lot.
- Minimum private open space requirements:
 - (a) One (1) bedroom dwellings require a minimum 5m² with a minimum dimension of 1.2m;
 - (b) Two (2) bedroom dwellings require a minimum 9m² with a minimum dimension of 2.4m;
 - (c) Three (3) bedroom dwellings require a minimum 12m² with a minimum dimension of 2.4m

Fencing:

- Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 m in height unless vegetated (hedges etc.).
- Fencing for the boundaries of any lots that adjoin drainage reserve, open space or pedestrian pathways must not be constructed more than 1.5m in height with a solid component of 1.2m. The balance is to be at least 50% permeable.
- Fencing, which overlooks the 32m wide "Ripley Loop Road" (i.e. along the primary frontage of Lots 1-10, 28-35, 75-90, 427-429, 455-457, 467-469, 475-477, & 484-486 and secondary frontage of Lots 91, 463, 470, 502, 503, 524) must not be constructed more than 1.5m in height with a solid component of a maximum 1.2m. The balance is to be at least 50% permeable.

Duplex Lots:

- 'Duplex' lots are not permitted to be developed for only a single dwelling.
- The number of dwellings per 'Duplex' lot is 2 dwellings.
- All duplex applications require compliance assessment against the approved Plan of Development and conditions of approval.
 - (a) Multiple residential lots must comply with PDA Guideline 7: Low Rise Buildings, the checklist included within PDA Guideline No. 1: Residential 30 and conditions of approval.

Display Home Lots

- Carparking for development on the display home lots will be contained within the lots they are constructed on unless complying with Note 1 above.

High Density Development Easements

- High density development easements may apply for all small lots in accordance with the Land Title Act 1994.

Building Location Envelope

- Future development of single residential lots (including house construction, landscape and maintenance) to comply with the approved Bushfire Management Plan.
- Any Buildings must be constructed in accordance with Section 8 of Acoustic Works, Acoustic Report dated the 13th November 2023. Lots identified in the Report have been marked with an asterisk *.
- Terrace Lots, Row Lots, Dual Occupancies/Duplex and Multiple Residential (3 unit) Lots are subject to compliance assessment



SCALE 1:1500 @ A3



CLIENT **SEKISUI HOUSE**

PROJECT **PLAN OF DEVELOPMENT LOTS 1 & 2 ON SP326583 (RIPLEY)**

LOCAL AUTHORITY **ECONOMIC DEVELOPMENT QUEENSLAND**

NOTES

(i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to ECONOMIC DEVELOPMENT QUEENSLAND for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Pty Ltd accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii) or (iii) hereof.

(iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natural Resources, Mines and Energy.

(iv) This plan may not be copied unless these notes are included.

STAGE	No. OF LOTS	TITLES	NEW ROAD	OPEN SPACE PARK & TPZ	DRNG	TOTAL AREA	REFER TO SHEET
1	40	44	754m	-	-	3.196ha	2
1b	40	42	333m	-	-	2.108ha	4
2a	7	7	161m	-	-	1.078ha	4
2b	37	43	292m	-	0.443	2.088ha	5
3	10	10	268m	-	-	1.020ha	2
4	16	16	184m	-	-	0.446ha	2
5	8	8	-	-	-	0.166ha	5
6	29	37	322m	-	-	3.587ha	6
7	12	12	26m	-	-	0.278ha	3
8	14	15	73m	-	-	0.720ha	7
8a	-	-	123m	-	1.491ha	1.893ha	8
9	49	52	660m	-	-	2.776ha	8
10	72	79	1250m	-	0.195ha	4.957ha	9
11	41	46	620m	0.5ha	0.325ha	3.25ha	10
11a	1	60	125m	-	0.169ha	1.262ha	10
12	25	29	60m	-	-	1.123ha	9
13	9	10	-	-	-	0.325ha	11
14	63	206	1235m	4.639ha	0.780ha	12.940ha	12,13,14
15	19	19	140m	-	-	1.053ha	15
16	50	53	585m	-	-	2.889ha	16
17	18	18	130m	-	-	0.577ha	17
18	51	56	460m	-	-	2.760ha	18
19	67	73	700m	-	-	3.734ha	19
Balance	2	158	155m	-	-	23.59ha	1
TOTAL	680	1093	8666m	5.139ha	3.404ha	Total Area 77.83ha	

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ISO 9001:2008
 FS 535063

LEVEL DATUM -

LEVEL ORIGIN -

CONTOUR INTERVAL -

COMPUTER FILE BRSS3649-RL3-93-20

DRAWN	TKW/NME	DATE	13/11/2023
CHECKED	NME/TKW	DATE	13/11/2023
APPROVED	SRS	DATE	13/11/2023

UDN BRSS3649-RL3-83-22 SHEET 11 OF 19

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF RESOURCES.

LEGEND:

- Site Boundary
- Stage Boundary
- Primary Frontage (identified on corner & selected Terrace lots only)
- Built to Boundary Wall
- Access Easement
- Proposed Stairs Location
- Road Reserve
- Display Home Lots
- Housing Development Exclusion Area
- Primary Access
- Emergency Access (after 100 lots)
- Secondary Formal Access (after 300 lots)
- Proposed Detention Basin
- Future Development (Balance)

OPEN SPACE:

- Additional Planting in Road Reserve
- Open Space
- Drainage Reserve
- Environmental Protection Zone
- Neighbourhood Park

BUSHFIRE (obtained from MPN Consulting)

- BAL 40 Setback
- BAL 29 Setback
- Managed Bushfire Buffer
- BAL 19 Setback
- BAL 12.5 Setback

FLOOD INFORMATION (obtained from MPN Consulting)

- Q100
- Q20

ACOUSTIC INFORMATION (obtained from Acoustic Works)

- Lots affected by Acoustic Report
- See Note 31 on Plan of Development

Site Development Table	Row Lots		Terrace Lots		Villa Lots		Courtyard Lots (1)		Courtyard Lots (2)		Duplex	
	<7.5	>7.5	7.5m-9.9m	10m-12.4m	12.5m-14.9m	15m-19.9m	Ground	First	Ground	First	Ground	First
Primary Frontage	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4
Rear	0.9	0.9	0.9	0.9	0.9	0.9	0.9	1	0.9	1	0.9	1
Side - General Lots												
Built to Boundary	0	0	0	0	0	1	0	1	0	1	0	1
Non-Built to Boundary	0	0	0	0	0.9	0.9	1	1	1	1.5	1	1.5
Corner Lots - Secondary Frontage	1	1	1	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Laneway Lots												
Laneway Frontage	0	0	0	0	0	0	0	0	0	0	0	0
Garage (from Laneway Boundary)	0.25	0.25	0.25	0.25	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5

* 4.9 metres to garage or carport door.
 ** Where the boundary includes a retaining wall in excess of 1.5m in height on the low side, the setback is increased to 1.2m.

For continuation of Stage 14 refer to sheet 15



General:

- All development is to be undertaken generally in accordance with the Development Approval.
- The notes contained within this Plan of Development apply also to the display home lots.
- The Display Homes and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
- The Ancillary Car Park and all associated improvements will be removed, and the site fully remediated once the Sales Centre has ceased operation.
- The maximum height of building on all lots must not exceed 2 storeys and 9m.

Orientation:

- Front doors of dwellings are generally to address the Primary Street Frontage identified on the Plan of Development. Except for:
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 - (a) Verandahs/ porches; (b) Awnings and shade structures; (c) Variation to roof and building lines; (d) Inclusion of window openings; & (e) Use of varying building materials

Setbacks:

- Setbacks are as per the Site Development Table unless otherwise specified.
- Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Plan of Development for each stage. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
- Built to boundary walls on lots greater than 10m wide are to have a maximum length of 15m and a maximum height of 3.5m.
- Buildings on lots less than 10m wide may be built to more than one boundary only where indicated on the plan of development.
 - (a) Built to boundary walls where indicated on the plan of development are mandatory for row and terrace lots.
- Boundary setbacks are measured to the wall of the structure.
- Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2100mm.

Parking:

- Minimum off-street parking requirements
 - (a) One (1) and two (2) bedroom dwellings require a minimum one (1) covered space per dwelling; and
 - (b) Three (3) or more bedroom dwellings require two (2) spaces per dwellings, one which must be capable of being covered (may be provided in tandem).
- Lots less than 12.5m wide are to have a single width garage with a tandem parking space provided in front of the garage. However, double garages may be permitted where:
 - (a) A single storey dwelling is provided on a lot with a width of 10m or more and the garage is setback at least 800mm behind the face of the main dwelling; or
 - (b) A double storey dwelling is provided on a lot with a width less than 12.5 metres and a 1m upper storey or roof projection is provided over at least 50% of the garage opening width and both 17(c) and 17(d) are achieved;
 - (c) All dwellings are to have a window or balcony from a habitable room overlooking the street.
 - (d) The garage door width is to be a maximum of 6 metres or 50% of the width of the lot at the garage setback facade, whichever is the lesser.
- Parking spaces on driveways do not have to comply with AS2890.
- All dwellings which are served off a Laneway must orientate their garages and carports to the Laneway—except for lots 11, 101-110, 804 & 813 which are to orientate garages and carports towards the primary frontage.

Site Cover and Amenity:

- Site cover for each lot is not to exceed 65% of the lot. Except for lots under 10m wide and Duplex Lots which are not to exceed 75% of the lot.
- Minimum private open space requirements:
 - (a) One (1) bedroom dwellings require a minimum 5m² with a minimum dimension of 1.2m;
 - (b) Two (2) bedroom dwellings require a minimum 9m² with a minimum dimension of 2.4m;
 - (c) Three (3) bedroom dwellings require a minimum 12m² with a minimum dimension of 2.4m

Fencing:

- Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 m in height unless vegetated (hedges etc.).
- Fencing for the boundaries of any lots that adjoin drainage reserve, open space or pedestrian pathways must not be constructed more than 1.5m in height with a solid component of 1.2m. The balance is to be at least 50% permeable.
- Fencing, which overlooks the 32m wide "Ripley Loop Road" (i.e. along the primary frontage of Lots 1-10, 28-35, 75-90, 427-429, 455-457, 467-469, 475-477, & 484-486 and secondary frontage of Lots 91, 463, 470, 502, 503, 524) must not be constructed more than 1.5m in height with a solid component of a maximum 1.2m. The balance is to be at least 50% permeable.

Duplex Lots:

- 'Duplex' lots are not permitted to be developed for only a single dwelling.
- The number of dwellings per 'Duplex' lot is 2 dwellings.
- All duplex applications require compliance assessment against the approved Plan of Development and conditions of approval.
 - (a) Multiple residential lots must comply with PDA Guideline 7: Low Rise Buildings, the checklist included within PDA Guideline No. 1: Residential 30 and conditions of approval.

Display Home Lots

- Carparking for development on the display home lots will be contained within the lots they are constructed on unless complying with Note 1 above.

High Density Development Easements

- High density development easements may apply for all small lots in accordance with the Land Title Act 1994.

Building Location Envelope

- Future development of single residential lots (including house construction, landscape and maintenance) to comply with the approved Bushfire Management Plan.
- Any Buildings must be constructed in accordance with Section 8 of Acoustic Works, Acoustic Report dated the 13th November 2023. Lots identified in the Report have been marked with an asterisk *.
- Terrace Lots, Row Lots, Dual Occupancies/Duplex and Multiple Residential (3 unit) Lots are subject to compliance assessment



SCALE 1:1500 @ A3



CLIENT
SEKISUI HOUSE
 PROJECT
PLAN OF DEVELOPMENT
LOTS 1 & 2 ON SP326583
(RIPLEY)

LOCAL AUTHORITY
ECONOMIC DEVELOPMENT QUEENSLAND

NOTES

(i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to ECONOMIC DEVELOPMENT QUEENSLAND for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Pty Ltd accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii) or (iii) hereof.

(iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natural Resources, Mines and Energy.

(iv) This plan may not be copied unless these notes are included.

STAGE	No. OF LOTS	TITLES	NEW ROAD	OPEN SPACE PARK & TPZ	DRNG	TOTAL AREA	REFER TO SHEET
1	40	44	754m	-	-	3.196ha	2
1b	40	42	333m	-	-	2.108ha	4
2a	7	7	161m	-	-	1.078ha	4
2b	37	43	292m	-	0.443	2.088ha	5
3	10	10	268m	-	-	1.020ha	2
4	16	16	184m	-	-	0.446ha	2
5	8	8	-	-	-	0.166ha	5
6	29	37	322m	-	-	3.587ha	6
7	12	12	26m	-	-	0.278ha	3
8	14	15	73m	-	-	0.720ha	7
8a	-	-	123m	-	1.491ha	1.893ha	8
9	49	52	660m	-	-	2.776ha	8
10	72	79	1250m	-	0.195ha	4.957ha	9
11	41	46	620m	0.5ha	0.325ha	3.25ha	10
11a	1	60	125m	-	0.169ha	1.262ha	10
12	25	29	60m	-	-	1.123ha	9
13	9	10	-	-	-	0.325ha	11
14	63	206	1235m	4.639ha	0.780ha	12.940ha	12,13,14
15	19	19	140m	-	-	1.053ha	15
16	50	53	585m	-	-	2.889ha	16
17	18	18	130m	-	-	0.577ha	17
18	51	56	460m	-	-	2.760ha	18
19	67	73	700m	-	-	3.734ha	19
Balance	2	158	155m	-	-	23.59ha	1
TOTAL	680	1093	8666m	5.139ha	3.404ha	Total Area 77.83ha	



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LEVEL DATUM	-		
LEVEL ORIGIN	-		
CONTOUR INTERVAL	-		
COMPUTER FILE	BRSS3649-RL3-93-20		
DRAWN	TKW/NME	DATE	13/11/2023
CHECKED	NME/TKW	DATE	13/11/2023
APPROVED	SRS	DATE	13/11/2023
UDN	BRSS3649-RL3-83-22	SHEET 12 OF 19	

Pursuant to the Economic Development Act 2012, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 21/2013/PDA

Date: 22 November 2023

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF RESOURCES.

LEGEND:

- Site Boundary
- Stage Boundary
- Primary Frontage (identified on corner & selected Terrace lots only)
- Built to Boundary Wall
- Access Easement
- Proposed Stairs Location
- Road Reserve
- Display Home Lots
- Housing Development Exclusion Area
- Primary Access
- Emergency Access (after 100 lots)
- Secondary Formal Access (after 300 lots)
- Proposed Detention Basin
- Future Development (Balance)

OPEN SPACE:

- Additional Planting in Road Reserve
- Open Space
- Drainage Reserve
- Environmental Protection Zone
- Neighbourhood Park

BUSHFIRE (obtained from MPN Consulting)

- BAL 40 Setback
- BAL 29 Setback
- Managed Bushfire Buffer
- BAL 19 Setback
- BAL 12.5 Setback

FLOOD INFORMATION (obtained from MPN Consulting)

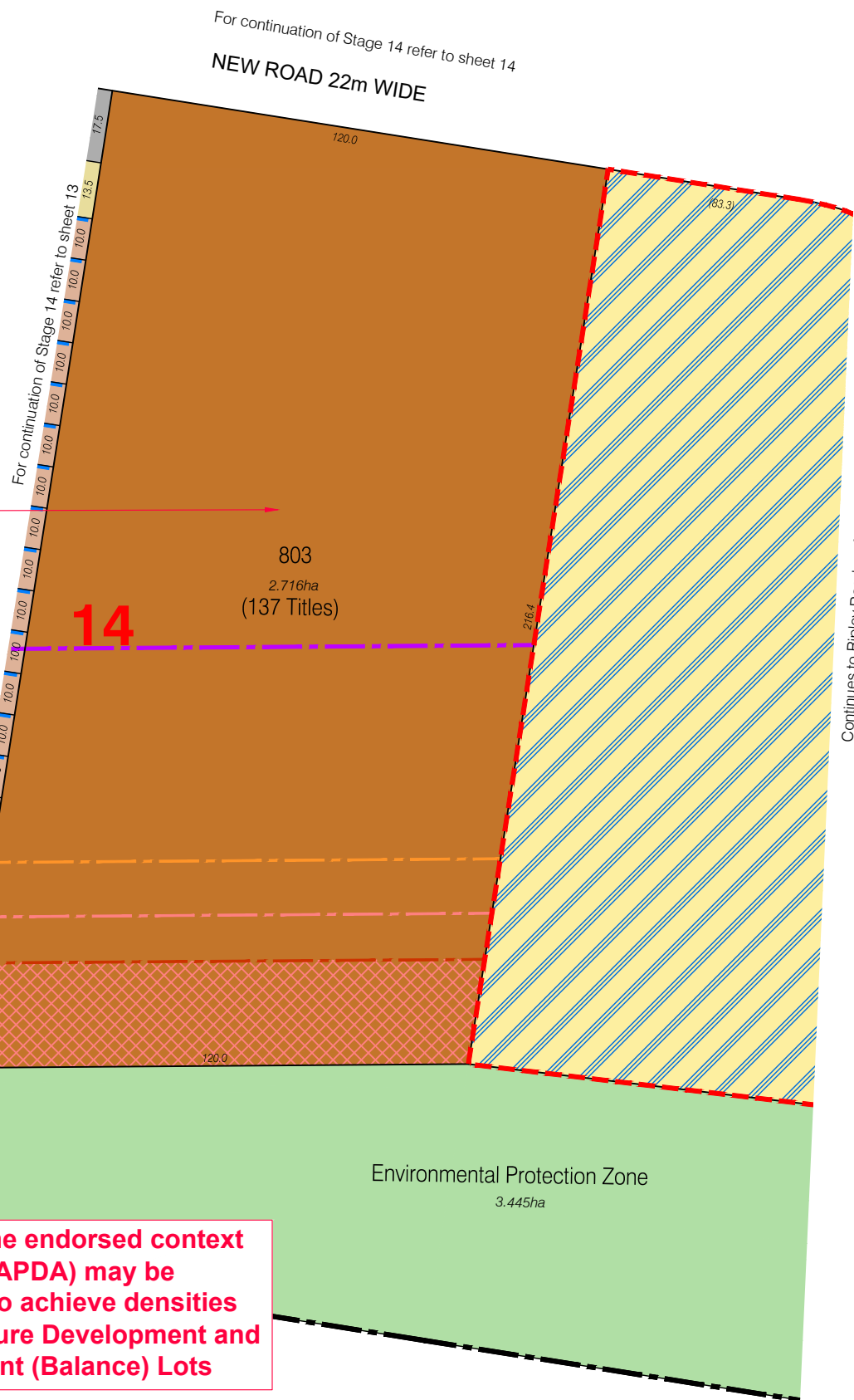
- Q100
- Q20

ACOUSTIC INFORMATION (obtained from Acoustic Works)

- Lots affected by Acoustic Report See Note 31 on Plan of Development

Site Development Table	Row Lots		Terrace Lots		Villa Lots		Courtyard Lots (1)		Courtyard Lots (2)		Duplex	
	<7.5	>7.5	7.5m-9.9m	10m-12.4m	12.5m-14.9m	15m-19.9m	Ground	First	Ground	First	Ground	First
Primary Frontage	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4
Rear	0.9*	0.9	0.9	0.9	0.9	0.9	0.9	1	0.9	1	0.9	1
Side - General Lots												
Built to Boundary	0	0	0	0	0	1	0	1	0	1	0	1
Non-Built to Boundary	0	0	0	0	0.9	0.9	1	1	1	1.5	1	1.5
Corner Lots - Secondary Frontage	1	1	1	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Laneway Lots												
Laneway Frontage	0	0	0	0	0	0	0	0	0	0	0	0
Garage (from Laneway Boundary)	0.25	0.25	0.25	0.25	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5

* 4.9 metres to garage or carport door.
 ** Where the boundary includes a retaining wall in excess of 1.5m in height on the low side, the setback is increased to 1.2m.



minimum density of 50dw/ha to be achieved

Pursuant to the Economic Development Act 2012, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 21/2013/PDA

Date: 22 November 2023

Amendments to the endorsed context plan (5940/2019/MAPDA) may be required in order to achieve densities nominated for Future Development and Future Development (Balance) Lots

General:

- All development is to be undertaken generally in accordance with the Development Approval.
- The notes contained within this Plan of Development apply also to the display home lots.
- The Display Homes and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
- The Ancillary Car Park and all associated improvements will be removed, and the site fully remediated once the Sales Centre has ceased operation.
- The maximum height of building on all lots must not exceed 2 storeys and 9m.

Orientation:

- Front doors of dwellings are generally to address the Primary Street Frontage identified on the Plan of Development. Except for:
 - Lots 10 metres wide or less where the front entry (including side entrances) to all dwellings must be clearly defined, with elements such as a direct path and separate covered area at the front door. All dwellings should have a habitable room with windows facing onto the street to improve passive surveillance.

- If a duplex corner lot then the units should address each frontage (except on a laneway frontage).
- Primary street frontage must contain pedestrian access and mail boxes with the appropriate street numbers.
- For the Lots 91, 463, 470, 502, 503 & 524 the frontage facing the internal 32m wide "Ripley Loop road" must be activated by the use of two or more of the following:
 - Verandahs/ porches;
 - Awnings and shade structures;
 - Variation to roof and building lines;
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 - A single storey dwelling is provided on a lot with a width of 10m or more and the garage is setback at least 800mm behind the face of the main dwelling; or
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 - All dwellings are to have a window or balcony from a habitable room overlooking the street.
 - The garage door width is to be a maximum of 6 metres or 50% of the width of the lot at the garage setback facade, whichever is the lesser.

- Parking spaces on driveways do not have to comply with AS2890.

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SCALE 1:1500 @ A3



CLIENT
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 LOTS 1 & 2 ON SP326583
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LOCAL AUTHORITY
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 FS 535063

LEVEL DATUM	-
LEVEL ORIGIN	-
CONTOUR INTERVAL	-
COMPUTER FILE	BRSS3649-RL3-93-20
DRAWN	TKW/NME
DATE	13/11/2023
CHECKED	NME/TKW
DATE	13/11/2023
APPROVED	SRS
DATE	13/11/2023
UDN	BRSS3649-RL3-83-22

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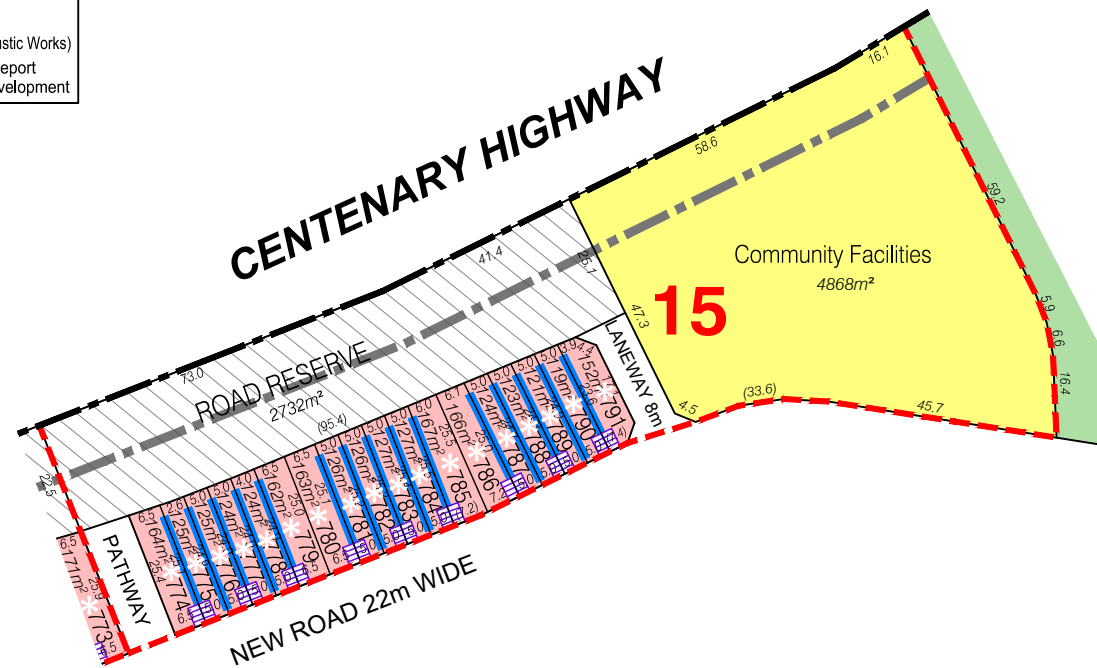
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Built to Boundary	0	0	0	0	0	1	0	1	0	1	0	1
Non-Built to Boundary	0	0	0	0	0.9	0.9	1	1	1	1.5	1	1.5
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Approval No.: 21/2013/PDA

Date: 22 November 2023



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- Fencing, which overlooks the 32m wide "Ripley Loop Road" (i.e. along the primary frontage of Lots 1-10, 28-35, 75-90, 427-429, 455-457, 467-469, 475-477, & 484-486 and secondary frontage of Lots 91, 463, 470, 502, 503, 524) must not be constructed more than 1.5m in height with a solid component of a maximum 1.2m. The balance is to be at least 50% permeable.

Duplex Lots:

- 'Duplex' lots are not permitted to be developed for only a single dwelling.
- The number of dwellings per 'Duplex' lot is 2 dwellings.
- All duplex applications require compliance assessment against the approved Plan of Development and conditions of approval.
 - Multiple residential lots must comply with PDA Guideline 7: Low Rise Buildings, the checklist included within PDA Guideline No. 1: Residential 30 and conditions of approval.

Display Home Lots

- Carparking for development on the display home lots will be contained within the lots they are constructed on unless complying with Note 1 above.

High Density Development Easements

- High density development easements may apply for all small lots in accordance with the Land Title Act 1994.

Building Location Envelope

- Future development of single residential lots (including house construction, landscape and maintenance) to comply with the approved Bushfire Management Plan.
- Any Buildings must be constructed in accordance with Section 8 of Acoustic Works, Acoustic Report dated the 13th November 2023. Lots identified in the Report have been marked with an asterisk *.
- Terrace Lots, Row Lots, Dual Occupancies/Duplex and Multiple Residential (3 unit) Lots are subject to compliance assessment



SCALE 1:1500 @ A3



CLIENT
SEKISUI HOUSE

PROJECT
PLAN OF DEVELOPMENT
 LOTS 1 & 2 ON SP326583
 (RIPLEY)

LOCAL AUTHORITY
 ECONOMIC DEVELOPMENT QUEENSLAND

NOTES

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STAGE	No. OF LOTS	TITLES	NEW ROAD	OPEN SPACE PARK & TPZ	DRNG	TOTAL AREA	REFER TO SHEET
1	40	44	754m	-	-	3.196ha	2
1b	40	42	333m	-	-	2.108ha	4
2a	7	7	161m	-	-	1.078ha	4
2b	37	43	292m	-	0.443	2.088ha	5
3	10	10	268m	-	-	1.020ha	2
4	16	16	184m	-	-	0.446ha	2
5	8	8	-	-	-	0.166ha	5
6	29	37	322m	-	-	3.587ha	6
7	12	12	26m	-	-	0.278ha	3
8	14	15	73m	-	-	0.720ha	7
8a	-	-	123m	-	1.491ha	1.893ha	8
9	49	52	660m	-	-	2.776ha	8
10	72	79	1250m	-	0.195ha	4.957ha	9
11	41	46	620m	0.5ha	0.325ha	3.25ha	10
11a	1	60	125m	-	0.169ha	1.262ha	10
12	25	29	60m	-	-	1.123ha	9
13	9	10	-	-	-	0.325ha	11
14	63	206	1235m	4.639ha	0.780ha	12.940ha	12,13,14
15	19	19	140m	-	-	1.053ha	15
16	50	53	585m	-	-	2.889ha	16
17	18	18	130m	-	-	0.577ha	17
18	51	56	460m	-	-	2.760ha	18
19	67	73	700m	-	-	3.734ha	19
Balance	2	158	155m	-	-	23.59ha	1
TOTAL	680	1093	8666m	5.139ha	3.404ha	Total Area 77.83ha	

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ISO 9001:2008
 FS 535063

LEVEL DATUM	-
LEVEL ORIGIN	-
CONTOUR INTERVAL	-
COMPUTER FILE	BRSS3649-RL3-93-20
DRAWN	TKW/NME
DATE	13/11/2023
CHECKED	NME/TKW
DATE	13/11/2023
APPROVED	SRS
DATE	13/11/2023
UDN	BRSS3649-RL3-83-22

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF RESOURCES.

LEGEND:

- Site Boundary
- Stage Boundary
- Primary Frontage (identified on corner & selected Terrace lots only)
- Built to Boundary Wall
- Access Easement
- Proposed Stairs Location
- Road Reserve
- Display Home Lots
- Housing Development Exclusion Area
- Primary Access
- Emergency Access (after 100 lots)
- Secondary Formal Access (after 300 lots)
- Proposed Detention Basin
- Future Development (Balance)

OPEN SPACE:

- Additional Planting in Road Reserve
- Open Space
- Drainage Reserve
- Environmental Protection Zone
- Neighbourhood Park

BUSHFIRE (obtained from MPN Consulting)

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- BAL 12.5 Setback

FLOOD INFORMATION (obtained from MPN Consulting)

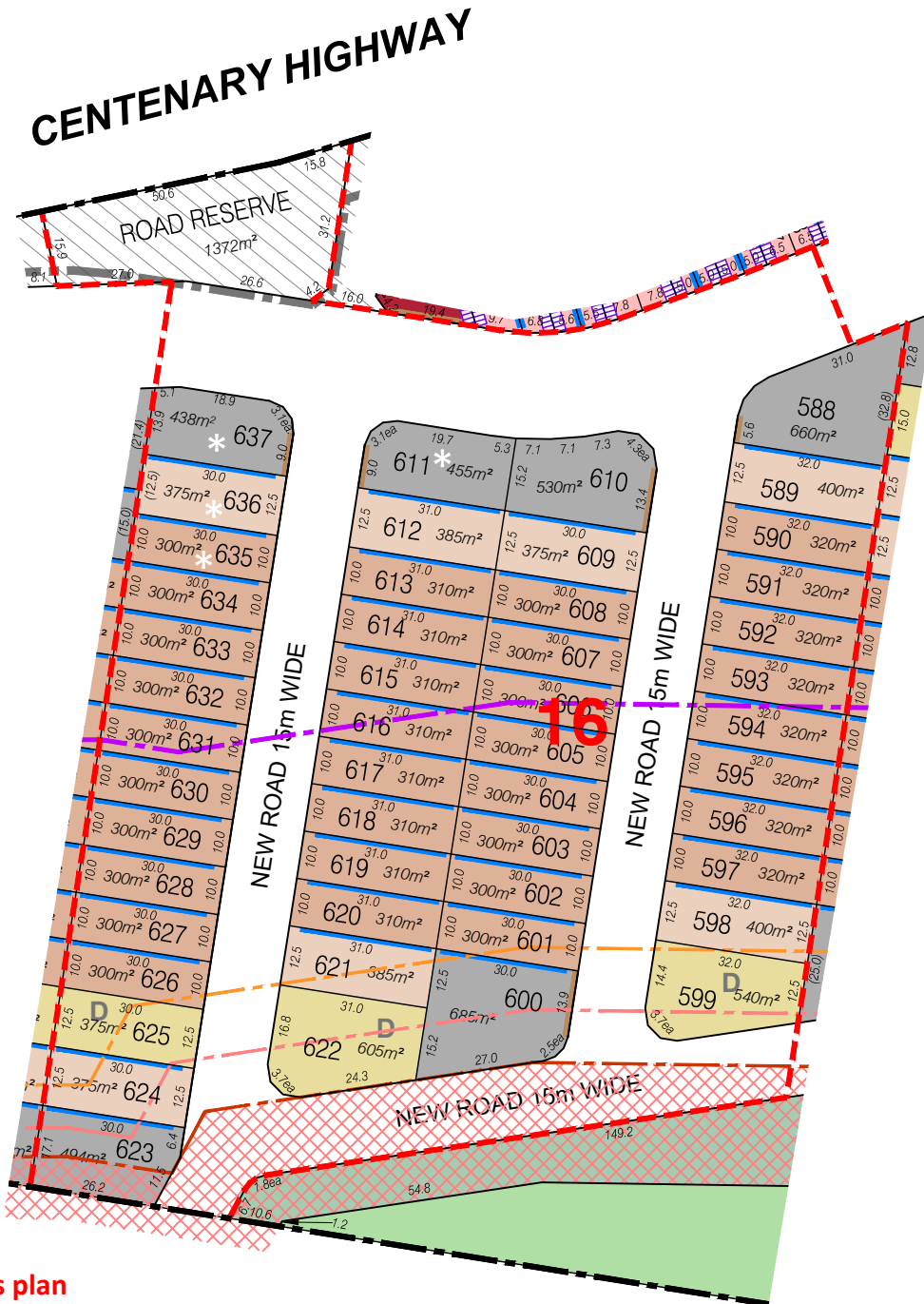
- Q100
- Q20

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- Lots affected by Acoustic Report
- See Note 31 on Plan of Development

Site Development Table	Row Lots		Terrace Lots		Villa Lots		Courtyard Lots (1)		Courtyard Lots (2)		Duplex	
	<7.5	>7.5	7.5m-9.9m	10m-12.4m	12.5m-14.9m	15m-19.9m	Ground	First	Ground	First	Ground	First
Primary Frontage	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4
Rear	0.9	0.9	0.9	0.9	0.9	0.9	0.9	1	0.9	1	0.9	1
Side - General Lots	0	0	0	0	0	1	0	1	0	1	0	1
Built to Boundary	0	0	0	0	0.9	0.9	1	1	1	1.5	1	1.5
Non-Built to Boundary	0	0	0	0	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Corner Lots - Secondary Frontage	1	1	1	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Laneway Frontage	0	0	0	0	0	0	0	0	0	0	0	0
Garage (from Laneway Boundary)	0.25	0.25	0.25	0.25	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5

* 4.9 metres to garage or carport door.
 ** Where the boundary includes a retaining wall in excess of 1.5m in height on the low side, the setback is increased to 1.2m.



General:

- All development is to be undertaken generally in accordance with the Development Approval.
- The notes contained within this Plan of Development apply also to the display home lots.
- The Display Homes and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
- The Ancillary Car Park and all associated improvements will be removed, and the site fully remediated once the Sales Centre has ceased operation.
- The maximum height of building on all lots must not exceed 2 storeys and 9m.

Orientation:

- Front doors of dwellings are generally to address the Primary Street Frontage identified on the Plan of Development. Except for:
 - (a) Lots 10 metres wide or less where the front entry (including side entrances) to all dwellings must be clearly defined, with elements such as a direct path and separate covered area at the front door. All dwellings should have a habitable room with windows facing onto the street to improve passive surveillance.
- If a duplex corner lot then the units should address each frontage (except on a laneway frontage).
- Primary street frontage must contain pedestrian access and mail boxes with the appropriate street numbers.
- For the Lots 91, 463, 470, 502, 503 & 524 the frontage facing the internal 32m wide "Ripley Loop road" must be activated by the use of two or more of the following:
 - (a) Verandahs/ porches;
 - (b) Awnings and shade structures;
 - (c) Variation to roof and building lines;
 - (d) Inclusion of window openings; & (e) Use of varying building materials

Setbacks:

- Setbacks are as per the Site Development Table unless otherwise specified.
- Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Plan of Development for each stage. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
- Built to boundary walls on lots greater than 10m wide are to have a maximum length of 15m and a maximum height of 3.5m.
- Buildings on lots less than 10m wide may be built to more than one boundary only where indicated on the plan of development.
 - (a) Built to boundary walls where indicated on the plan of development are mandatory for row and terrace lots.
- Boundary setbacks are measured to the wall of the structure.
- Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2100mm.

Parking:

- Minimum off-street parking requirements
 - (a) One (1) and two (2) bedroom dwellings require a minimum one (1) covered space per dwelling; and
 - (b) Three (3) or more bedroom dwellings require two (2) spaces per dwellings, one which must be capable of being covered (may be provided in tandem).
- Lots less than 12.5m wide are to have a single width garage with a tandem parking space provided in front of the garage. However, double garages may be permitted where:
 - (a) A single storey dwelling is provided on a lot with a width of 10m or more and the garage is setback at least 800mm behind the face of the main dwelling; or
 - (b) A double storey dwelling is provided on a lot with a width less than 12.5 metres and a 1m upper storey or roof projection is provided over at least 50% of the garage opening width and both 17(c) and 17(d) are achieved;
 - (c) All dwellings are to have a window or balcony from a habitable room overlooking the street.
 - (d) The garage door width is to be a maximum of 6 metres or 50% of the width of the lot at the garage setback facade, whichever is the lesser.
- Parking spaces on driveways do not have to comply with AS2890.
- All dwellings which are served off a Laneway must orientate their garages and carports to the Laneway—except for lots 11, 101-110, 804 & 813 which are to orientate garages and carports towards the primary frontage.

Site Cover and Amenity:

- Site cover for each lot is not to exceed 65% of the lot. Except for lots under 10m wide and Duplex Lots which are not to exceed 75% of the lot.
- Minimum private open space requirements:
 - (a) One (1) bedroom dwellings require a minimum 5m² with a minimum dimension of 1.2m;
 - (b) Two (2) bedroom dwellings require a minimum 9m² with a minimum dimension of 2.4m;
 - (c) Three (3) bedroom dwellings require a minimum 12m² with a minimum dimension of 2.4m

Fencing:

- Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 m in height unless vegetated (hedges etc.).
- Fencing for the boundaries of any lots that adjoin drainage reserve, open space or pedestrian pathways must not be constructed more than 1.5m in height with a solid component of 1.2m. The balance is to be at least 50% permeable.
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SCALE 1:1500 @ A3



CLIENT
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PROJECT
PLAN OF DEVELOPMENT
 LOTS 1 & 2 ON SP326583
 (RIPLEY)

LOCAL AUTHORITY
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LEVEL DATUM	-
LEVEL ORIGIN	-
CONTOUR INTERVAL	-
COMPUTER FILE	BRSS3649-RL3-93-20
DRAWN	TKW/NME
DATE	13/11/2023
CHECKED	NME/TKW
DATE	13/11/2023
APPROVED	SRS
DATE	13/11/2023
UDN	BRSS3649-RL3-83-22

Pursuant to the Economic Development Act 2012, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 21/2013/PDA

Date: 22 November 2023

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- Road Reserve
- Display Home Lots
- Housing Development Exclusion Area
- Primary Access
- Emergency Access (after 100 lots)
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- Additional Planting in Road Reserve
- Open Space
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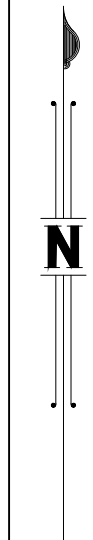
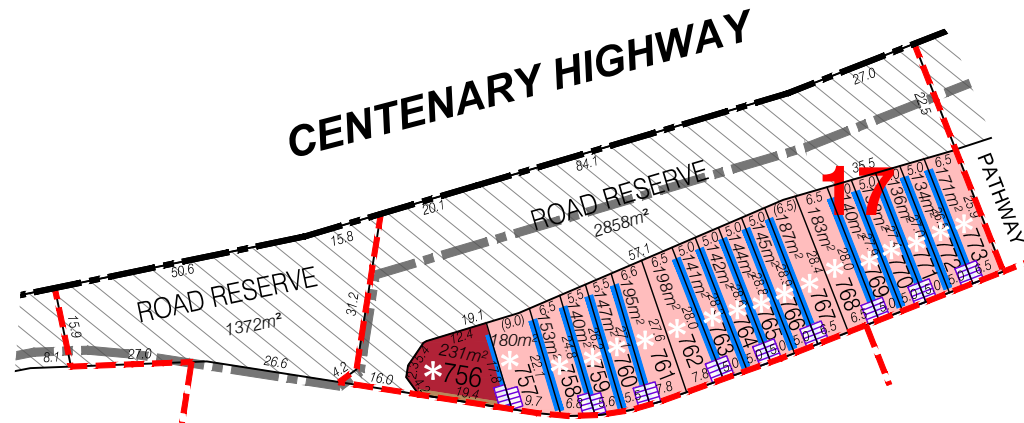
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Primary Frontage	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4
Rear	**0.9	0.9	0.9	0.9	0.9	0.9	0.9	1	0.9	1	0.9	1
Side - General Lots												
Built to Boundary	0	0	0	0	0	1	0	1	0	1	0	1
Non-Built to Boundary	**0	0	0	0	0.9	0.9	1	1	1	1.5	1	1.5
Corner Lots - Secondary Frontage	**1	1	1	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
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Laneway Frontage	0	0	0	0	0	0	0	0	0	0	0	0
Garage (from Laneway Boundary)	0.25	0.25	0.25	0.25	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5

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Approval No.: 21/2013/PDA

Date: 22 November 2023

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Parking spaces on driveways do not have to comply with AS2890.

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SCALE 1:1500 @ A3



CLIENT **SEKISUI HOUSE**

PROJECT **PLAN OF DEVELOPMENT LOTS 1 & 2 ON SP326583 (RIPLEY)**

LOCAL AUTHORITY **ECONOMIC DEVELOPMENT QUEENSLAND**

NOTES

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1	40	44	754m	-	-	3.196ha	2
1b	40	42	333m	-	-	2.108ha	4
2a	7	7	161m	-	-	1.078ha	4
2b	37	43	292m	-	0.443	2.088ha	5
3	10	10	268m	-	-	1.020ha	2
4	16	16	184m	-	-	0.446ha	2
5	8	8	-	-	-	0.166ha	5
6	29	37	322m	-	-	3.587ha	6
7	12	12	26m	-	-	0.278ha	3
8	14	15	73m	-	-	0.720ha	7
8a	-	-	123m	-	1.491ha	1.893ha	8
9	49	52	660m	-	-	2.776ha	8
10	72	79	1250m	-	0.195ha	4.957ha	9
11	41	46	620m	0.5ha	0.325ha	3.25ha	10
11a	1	60	125m	-	0.169ha	1.262ha	10
12	25	29	60m	-	-	1.123ha	9
13	9	10	-	-	-	0.325ha	11
14	63	206	1235m	4.639ha	0.780ha	12.940ha	12,13,14
15	19	19	140m	-	-	1.053ha	15
16	50	53	585m	-	-	2.889ha	16
17	18	18	130m	-	-	0.577ha	17
18	51	56	460m	-	-	2.760ha	18
19	67	73	700m	-	-	3.734ha	19
Balance	2	158	155m	-	-	23.59ha	1
TOTAL	680	1093	8666m	5.139ha	3.404ha	Total Area 77.83ha	

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LEVEL DATUM	-
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CONTOUR INTERVAL	-
COMPUTER FILE	BRSS3649-RL3-93-20
DRAWN	TKW/NME
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APPROVED	SRS
DATE	13/11/2023
UDN	BRSS3649-RL3-83-22

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF RESOURCES.

LEGEND:

- Site Boundary
- Stage Boundary
- Primary Frontage (identified on corner & selected Terrace lots only)
- Built to Boundary Wall
- Access Easement
- Proposed Stairs Location
- Road Reserve
- Display Home Lots
- Housing Development Exclusion Area
- Primary Access
- Emergency Access (after 100 lots)
- Secondary Formal Access (after 300 lots)
- Proposed Detention Basin
- Future Development (Balance)

OPEN SPACE:

- Additional Planting in Road Reserve
- Open Space
- Drainage Reserve
- Environmental Protection Zone
- Neighbourhood Park

BUSHFIRE (obtained from MPN Consulting)

- BAL 40 Setback
- BAL 29 Setback
- Managed Bushfire Buffer
- BAL 19 Setback
- BAL 12.5 Setback

FLOOD INFORMATION (obtained from MPN Consulting)

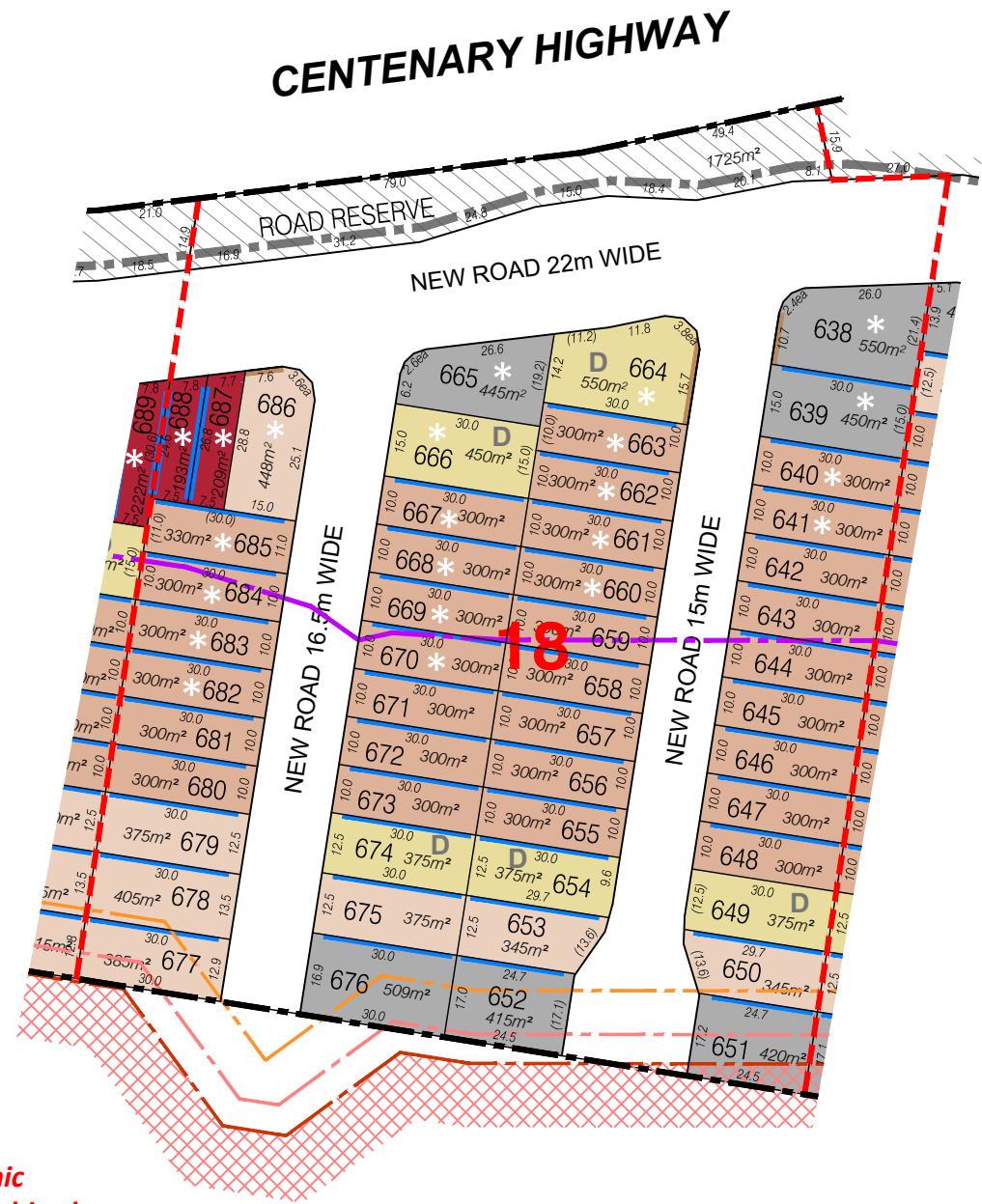
- Q100
- Q20

ACOUSTIC INFORMATION (obtained from Acoustic Works)

- Lots affected by Acoustic Report
- See Note 31 on Plan of Development

Site Development Table	Row Lots		Terrace Lots		Villa Lots		Courtyard Lots (1)		Courtyard Lots (2)		Duplex	
	<7.5	7.5m-9.9m	10m-12.4m	12.5m-14.9m	15m-19.9m	Ground	First	Ground	First	Ground	First	
Primary Frontage	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4
Rear	0.9	0.9	0.9	0.9	0.9	0.9	0.9	1	0.9	1	0.9	1
Side - General Lots	0	0	0	0	0	1	0	1	0	1	0	1
Built to Boundary	0	0	0	0	0.9	0.9	1	1	1	1.5	1	1.5
Non-Built to Boundary	**	**	**	**	**	**	**	**	**	**	**	**
Corner Lots - Secondary Frontage	**	**	**	**	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Laneway Frontage	0	0	0	0	0	0	0	0	0	0	0	0
Garage (from Laneway Boundary)	0.25	0.25	0.25	0.25	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5

* 4.9 metres to garage or carport door.
 ** Where the boundary includes a retaining wall in excess of 1.5m in height on the low side, the setback is increased to 1.2m.



Pursuant to the Economic Development Act 2012, this plan forms part of the MEDQ Delegate's approval for Approval No.: 21/2013/PDA Date: 22 November 2023

- General:**
- All development is to be undertaken generally in accordance with the Development Approval.
 - The notes contained within this Plan of Development apply also to the display home lots.
 - The Display Homes and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
 - The Ancillary Car Park and all associated improvements will be removed, and the site fully remediated once the Sales Centre has ceased operation.
 - The maximum height of building on all lots must not exceed 2 storeys and 9m.
- Orientation:**
- Front doors of dwellings are generally to address the Primary Street Frontage identified on the Plan of Development. Except for:
 - (a) Lots 10 metres wide or less where the front entry (including side entrances) to all dwellings must be clearly defined, with elements such as a direct path and separate covered area at the front door. All dwellings should have a habitable room with windows facing onto the street to improve passive surveillance.
 - If a duplex corner lot then the units should address each frontage (except on a laneway frontage).
 - Primary street frontage must contain pedestrian access and mail boxes with the appropriate street numbers.
 - For the Lots 91, 463, 470, 502, 503 & 524 the frontage facing the internal 32m wide "Ripley Loop road" must be activated by the use of two or more of the following:
 - (a) Verandahs/ porches; (b) Awnings and shade structures; (c) Variation to roof and building lines; (d) Inclusion of window openings; & (e) Use of varying building materials
- Setbacks:**
- Setbacks are as per the Site Development Table unless otherwise specified.
 - Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Plan of Development for each stage. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
 - Built to boundary walls on lots greater than 10m wide are to have a maximum length of 15m and a maximum height of 3.5m.
 - Buildings on lots less than 10m wide may be built to more than one boundary only where indicated on the plan of development.
 - (a) Built to boundary walls where indicated on the plan of development are mandatory for row and terrace lots.
 - Boundary setbacks are measured to the wall of the structure.
 - Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2100mm.
- Parking:**
- Minimum off-street parking requirements
 - (a) One (1) and two (2) bedroom dwellings require a minimum one (1) covered space per dwelling; and
 - (b) Three (3) or more bedroom dwellings require two (2) spaces per dwellings, one which must be capable of being covered (may be provided in tandem).
 - Lots less than 12.5m wide are to have a single width garage with a tandem parking space provided in front of the garage. However, double garages may be permitted where:
 - (a) A single storey dwelling is provided on a lot with a width of 10m or more and the garage is setback at least 800mm behind the face of the main dwelling; or
 - (b) A double storey dwelling is provided on a lot with a width less than 12.5 metres and a 1m upper storey or roof projection is provided over at least 50% of the garage opening width and both 17(c) and 17(d) are achieved;
 - (c) All dwellings are to have a window or balcony from a habitable room overlooking the street.
 - (d) The garage door width is to be a maximum of 6 metres or 50% of the width of the lot at the garage setback facade, whichever is the lesser.
 - Parking spaces on driveways do not have to comply with AS2890.
 - All dwellings which are served off a Laneway must orientate their garages and carports to the Laneway—except for lots 11, 101-110, 804 & 813 which are to orientate garages and carports towards the primary frontage.
- Site Cover and Amenity:**
- Site cover for each lot is not to exceed 65% of the lot. Except for lots under 10m wide and Duplex Lots which are not to exceed 75% of the lot.
 - Minimum private open space requirements:
 - (a) One (1) bedroom dwellings require a minimum 5m² with a minimum dimension of 1.2m;
 - (b) Two (2) bedroom dwellings require a minimum 9m² with a minimum dimension of 2.4m;
 - (c) Three (3) bedroom dwellings require a minimum 12m² with a minimum dimension of 2.4m
- Fencing:**
- Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 m in height unless vegetated (hedges etc.).
 - Fencing for the boundaries of any lots that adjoin drainage reserve, open space or pedestrian pathways must not be constructed more than 1.5m in height with a solid component of 1.2m. The balance is to be at least 50% permeable.
 - Fencing, which overlooks the 32m wide "Ripley Loop Road" (i.e. along the primary frontage of Lots 1-10, 28-35, 75-90, 427-429, 455-457, 467-469, 475-477, & 484-486 and secondary frontage of Lots 91, 463, 470, 502, 503, 524) must not be constructed more than 1.5m in height with a solid component of a maximum 1.2m. The balance is to be at least 50% permeable.
- Duplex Lots:**
- 'Duplex' lots are not permitted to be developed for only a single dwelling.
 - The number of dwellings per 'Duplex' lot is 2 dwellings.
 - All duplex applications require compliance assessment against the approved Plan of Development and conditions of approval.
 - (a) Multiple residential lots must comply with PDA Guideline 7: Low Rise Buildings, the checklist included within PDA Guideline No. 1: Residential 30 and conditions of approval.
- Display Home Lots**
- Carparking for development on the display home lots will be contained within the lots they are constructed on unless complying with Note 1 above.
- High Density Development Easements**
- High density development easements may apply for all small lots in accordance with the Land Title Act 1994.
- Building Location Envelope**
- Future development of single residential lots (including house construction, landscape and maintenance) to comply with the approved Bushfire Management Plan.
 - Any Buildings must be constructed in accordance with Section 8 of Acoustic Works, Acoustic Report dated the 13th November 2023. Lots identified in the Report have been marked with an asterisk *.
 - Terrace Lots, Row Lots, Dual Occupancies/Duplex and Multiple Residential (3 unit) Lots are subject to compliance assessment



SCALE 1:1500 @ A3



CLIENT
SEKISUI HOUSE

PROJECT
PLAN OF DEVELOPMENT
 LOTS 1 & 2 ON SP326583
 (RIPLEY)

LOCAL AUTHORITY
 ECONOMIC DEVELOPMENT QUEENSLAND

NOTES

(i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to ECONOMIC DEVELOPMENT QUEENSLAND for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Pty Ltd accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii) or (iii) hereof.

(iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natural Resources, Mines and Energy.

(iv) This plan may not be copied unless these notes are included.

STAGE	No. OF LOTS	TITLES	NEW ROAD	OPEN SPACE PARK & TPZ	DRNG	TOTAL AREA	REFER TO SHEET
1	40	44	754m	-	-	3.196ha	2
1b	40	42	333m	-	-	2.108ha	4
2a	7	7	161m	-	-	1.078ha	4
2b	37	43	292m	-	0.443	2.088ha	5
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UDN BRSS3649-RL3-83-22 SHEET 18 OF 19