

Delegate's approval for

Approval No.: 21/2013/PDA

Date: 18 September 2023

CLIENT

BCOVE 4 PTY LTD

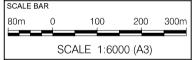
PROJECT

PROPOSED RECONFIGURATION LOT 2 ON SP326583 (RIPLEY AREA 3) 1 INTO 3 LOTS

LOCAL AUTHORITY ECONOMIC DEVELOPMENT QUEENSLAND

NOTES

- (i) This plan was prepared for the purpose and exclusive use of BCOVE 4 PTY LTD to accompany an application to ECONOMIC DEVELOPMENT QUEENSLAND for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation.
- LandPartners Pty Ltd accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii),(iii) or (iv) hereof.
- (ii) The contours shown in this plan are suitable only for the purposes of this application. The accuracy of the contours has not been verified and no reliance should be placed upon such contours for any other purpose other than the purpose of this application for reconfiguration.
- (iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natura Resources, Mines and Energy.
- (iv) This plan may not be copied unless these notes are included.





Brisbane Office

Level 1 18 Little Cribb Street, Milton Qld 4064 PO Box 1399 Milton Qld 4064

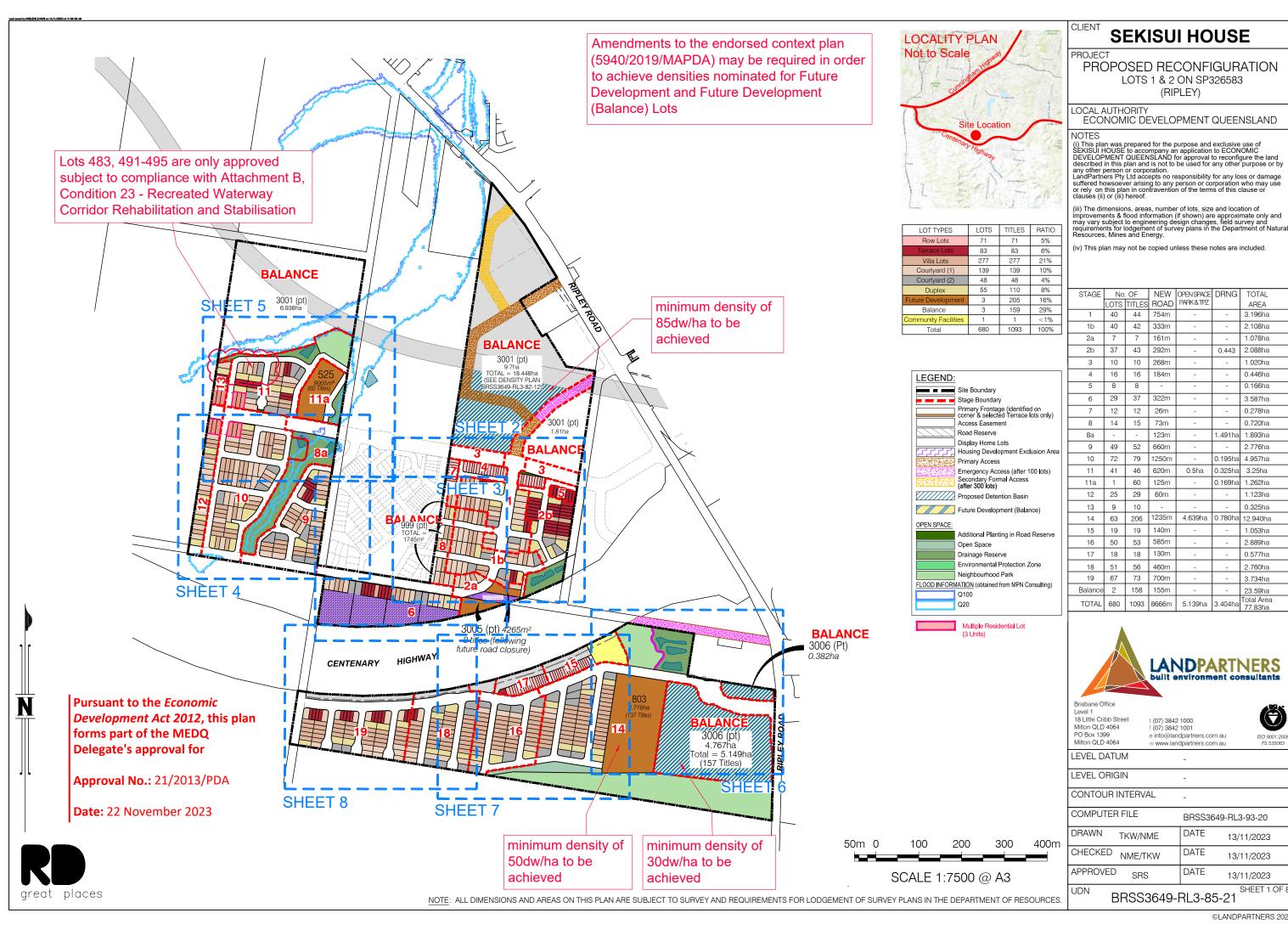
p: (07) 3842 1000 f: (07) 3842 1001 e: info@landpartners.com.au w: www.landpartners.com.au



LEVEL DATU	М	AHD D				
LEVEL ORIGI	N	LIDAR				
CONTOUR IN	ITERVAL	1.0 Metre				
DRAWN	TKW	DATE	07/11/2022			
CHECKED	TKW	DATE	07/11/2022			
APPROVED	SRS	DATE	07/11/2022			

BRSS3649-RL3-121-4

WATSONS ROAD TO



SHEET 1 OF 8

13/11/2023

13/11/2023

13/11/2023

TOTAL

ARFA

3.196ha

2.108ha

1.078ha

2.088ha

1.020ha

0.446ha

0.166ha

3.587ha

0.278ha

0.720ha

2.776ha

4.957ha

3.25ha

1.262ha

1.123ha

0.325ha

1.053ha

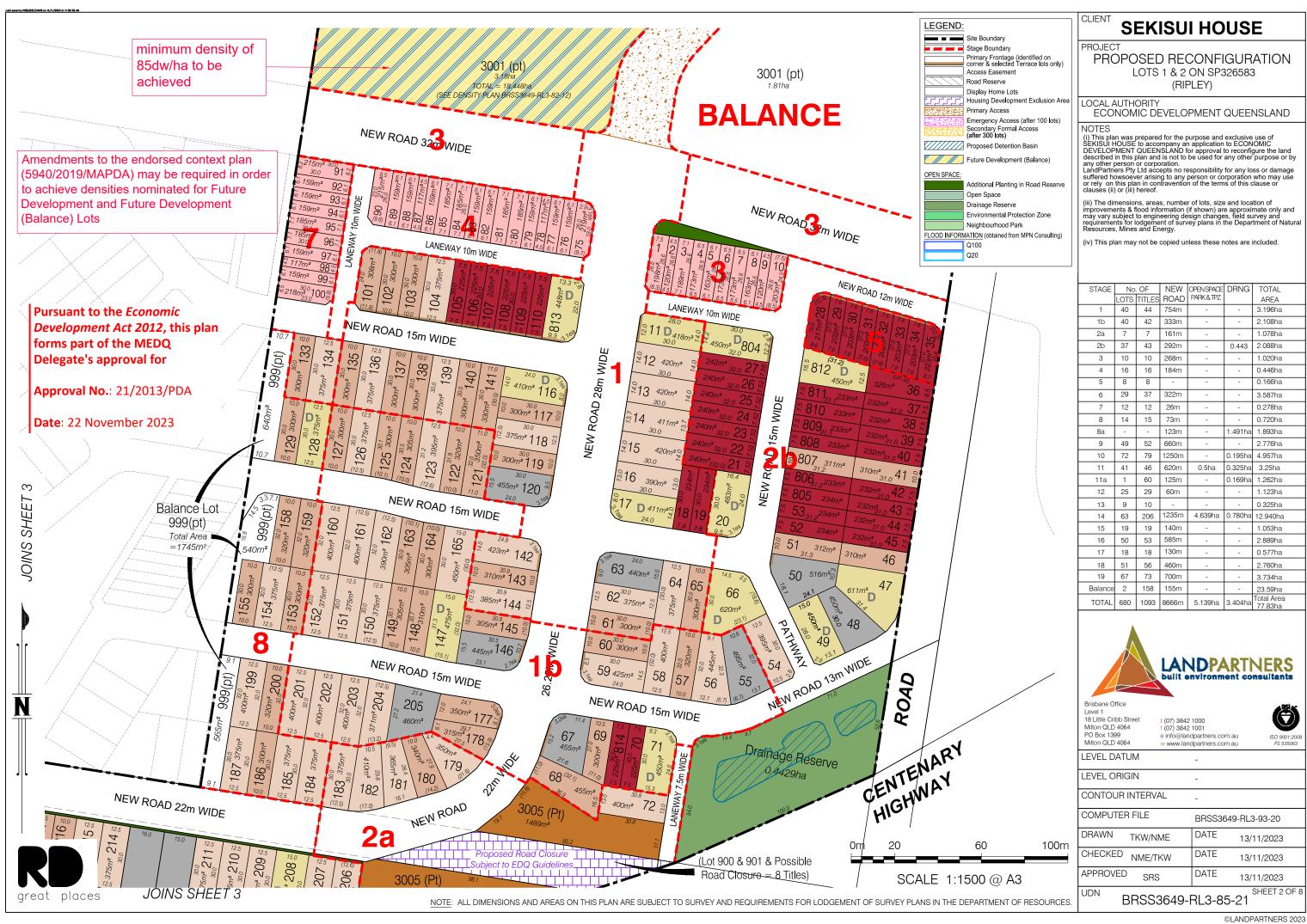
2.889ha

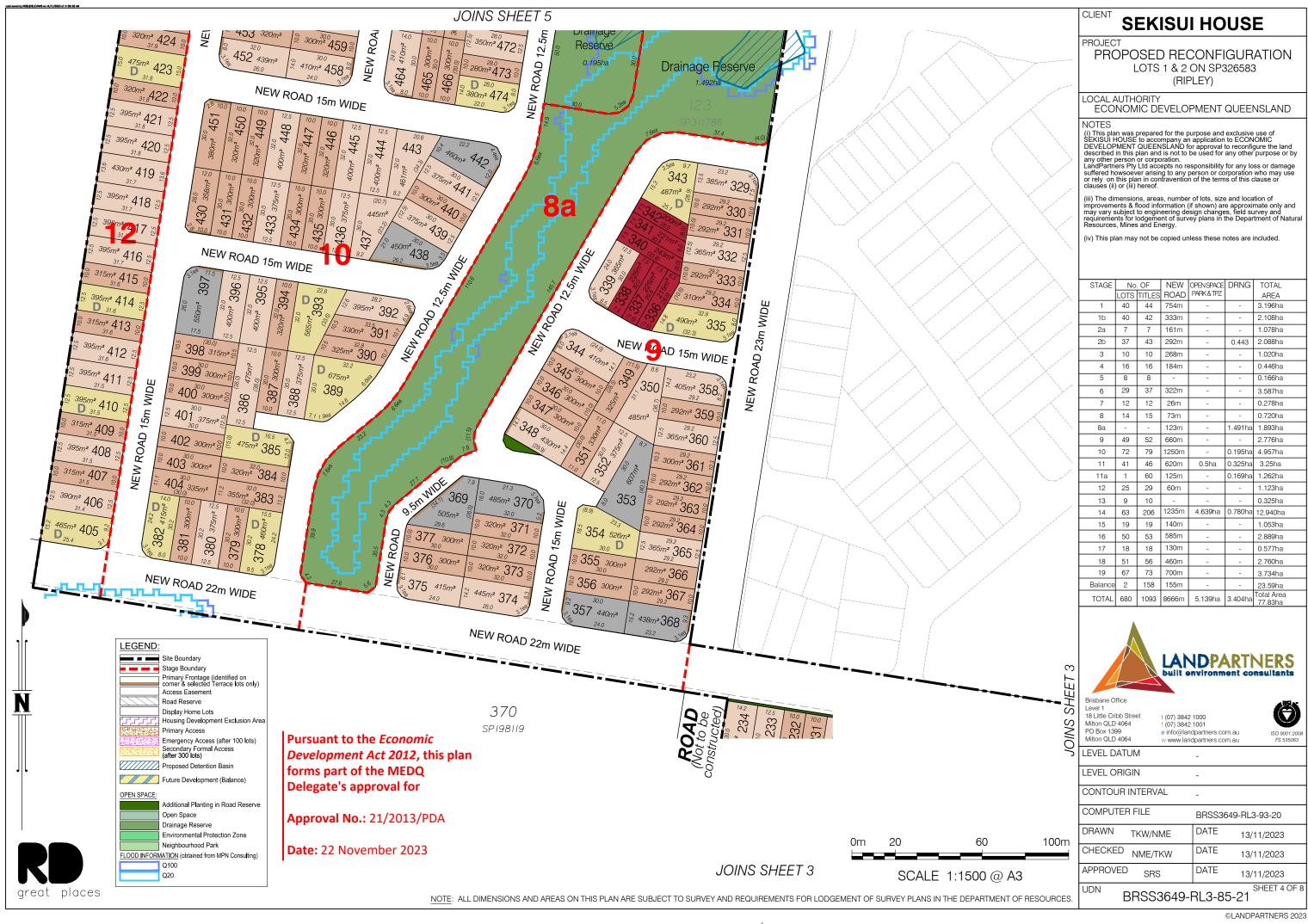
0.577ha

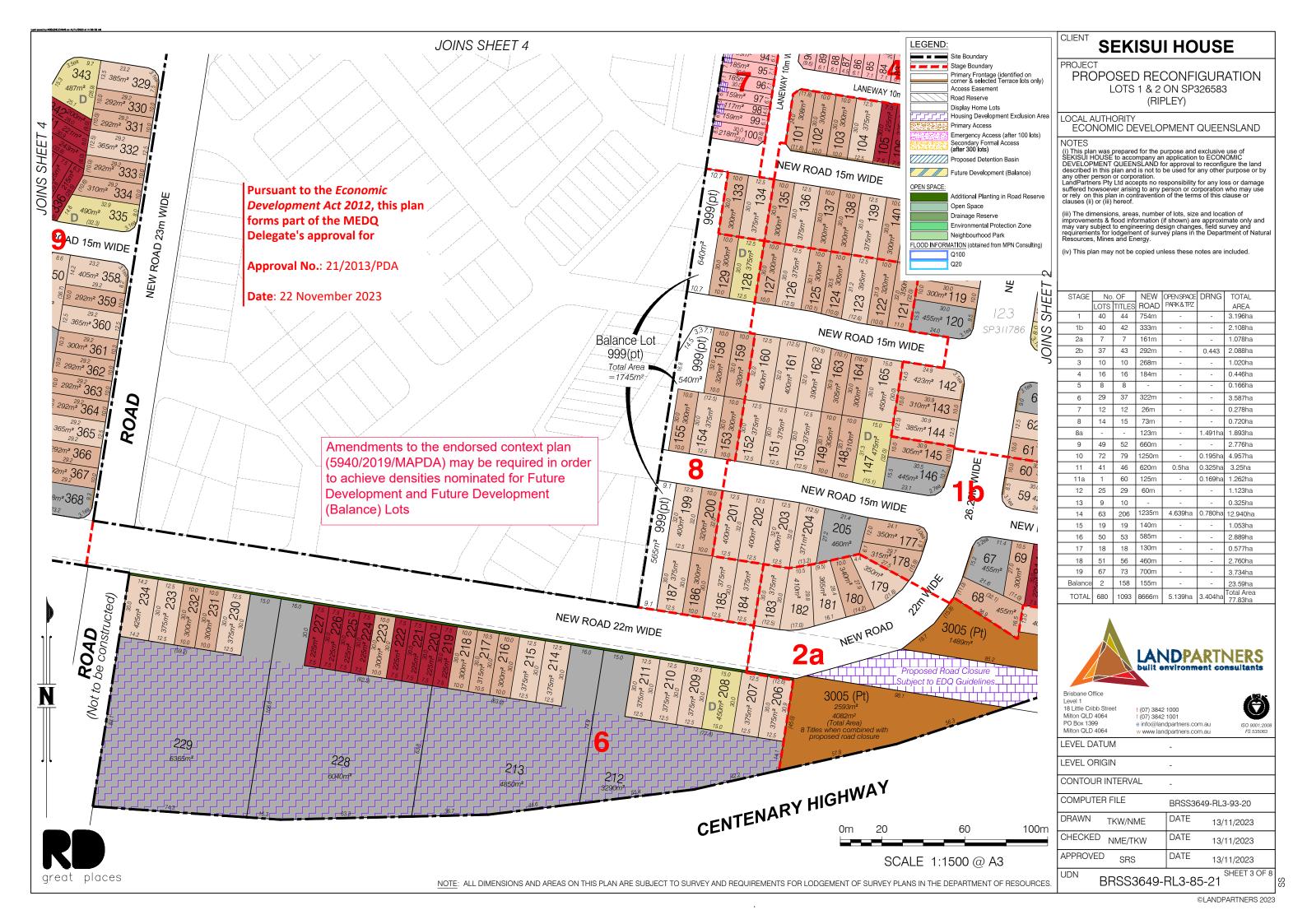
2.760ha

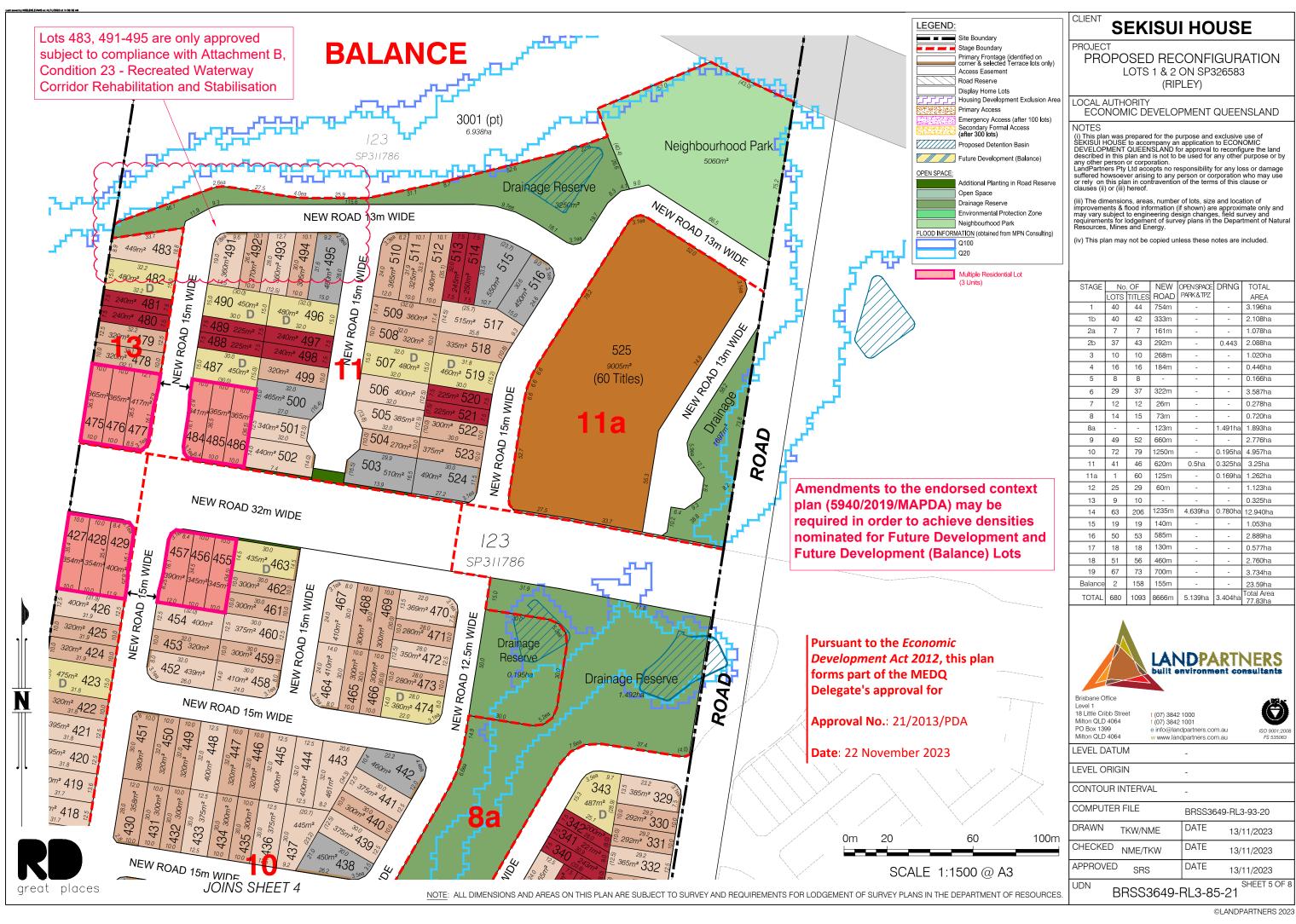
3.734ha

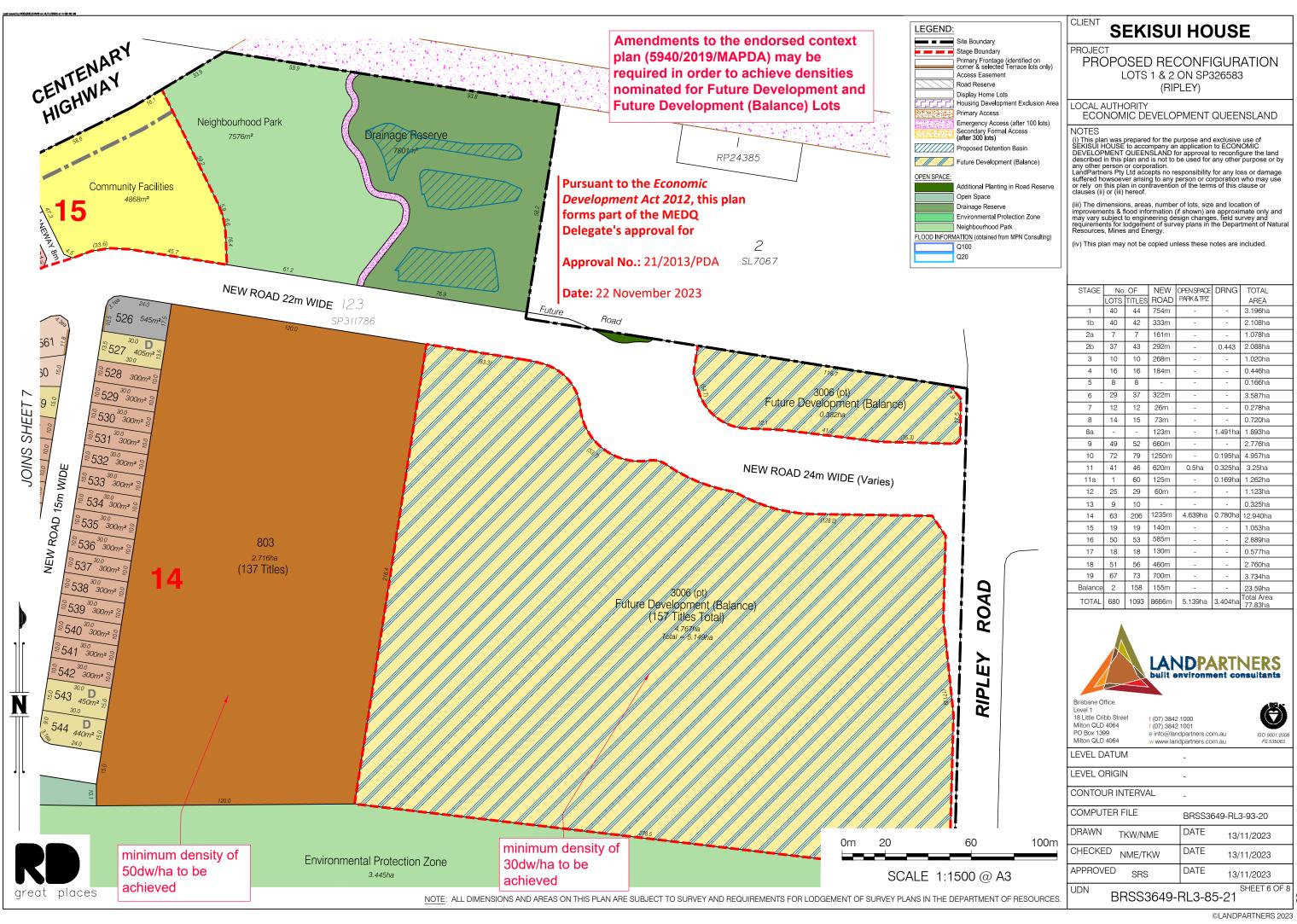
23.59ha

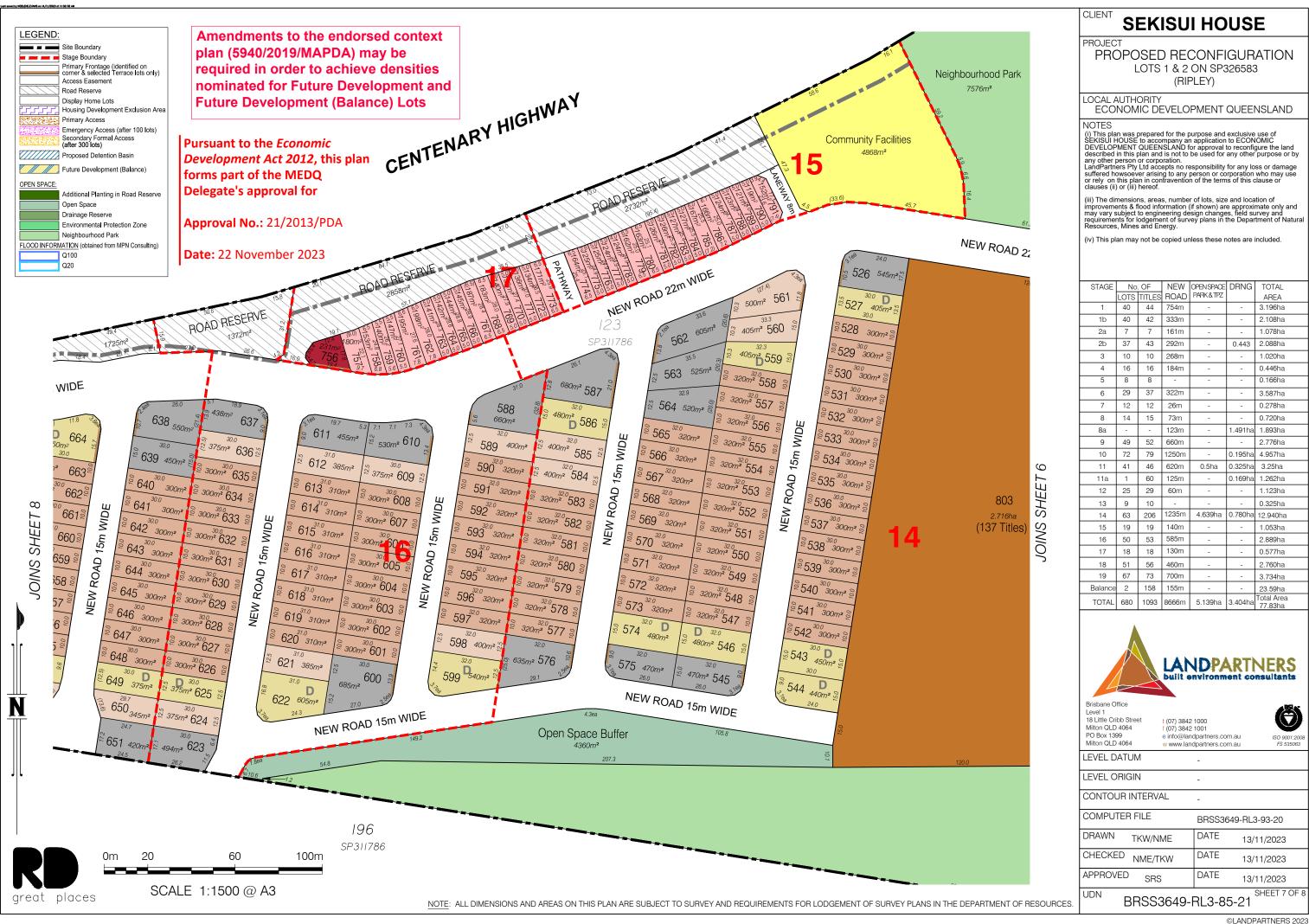




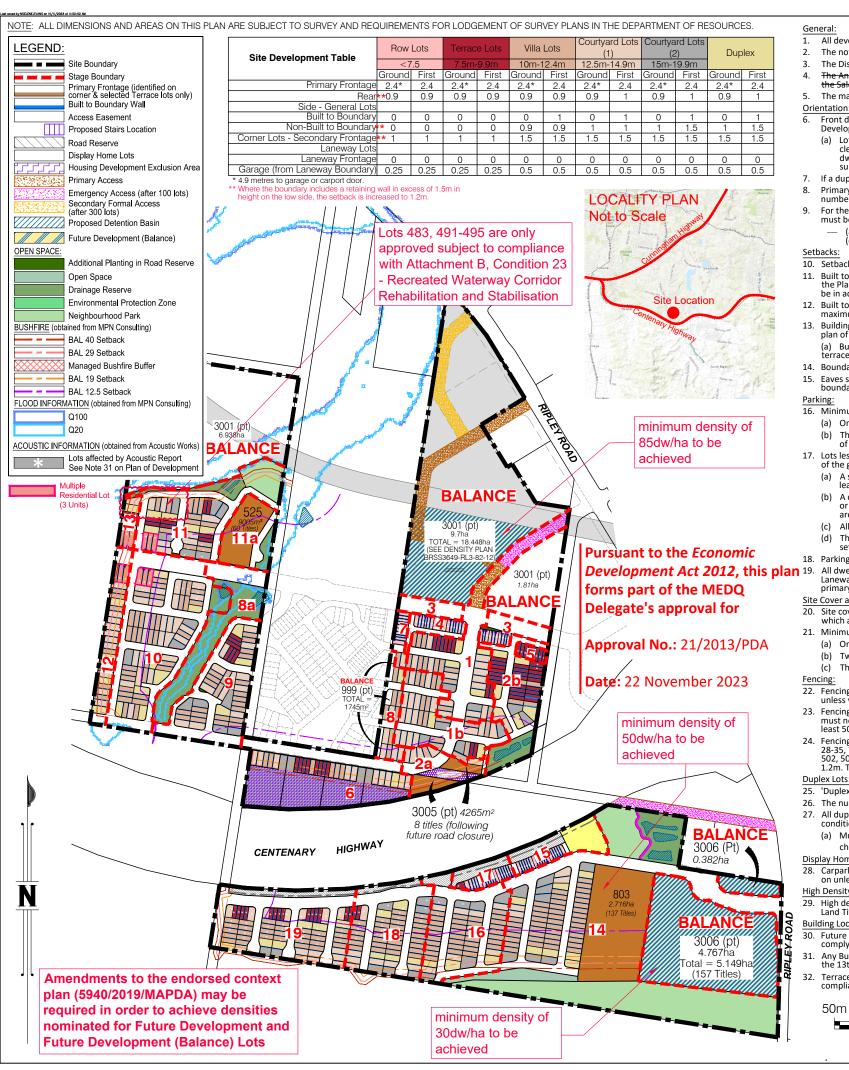








CLIENT **SEKISUI HOUSE** LEGEND: Site Boundary PROPOSED RECONFIGURATION Stage Boundary Primary Frontage (identified on corner & selected Terrace lots only) LOTS 1 & 2 ON SP326583 (RIPLEY) Access Easement Road Reserve LOCAL AUTHORITY Display Home Lots ECONOMIC DEVELOPMENT QUEENSLAND Housing Development Exclusion Area Primary Access Emergency Access (after 100 lots) (ii) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to ECONOMIC DEVELOPMENT QUEENSLAND for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by Secondary Formal Access (after 300 lots) Proposed Detention Basin any other person or corporation. LandPartners Pty Ltd accepts no responsibility for any loss or damage Future Development (Balance) suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or CENTENARY HIGHWAY OPEN SPACE: Additional Planting in Road Reserve (iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natural Open Space Orainage Reserve Environmental Protection Zone Neighbourhood Park (iv) This plan may not be copied unless these notes are included. FLOOD INFORMATION (obtained from MPN Consulting) Q100 020 NEW OPENSPACE DRNG TOTAL No. OF OTS TITLES ROAD PARK&TPZ AREA 40 44 754m 3.196ha 2.108ha 1b 40 42 333m 1.078ha 161m 43 292m 0.443 2.088ha 10 10 268m 1.020ha 16 0.446ha 16 184m ROAD RESERVE 0.166ha 3.587ha 12 12 0.278ha ROAD RESERVE NEW ROAD 22m WIDE 3642m² 14 15 73m 0.720ha 123m 1 491ha 1 893ha 8a 638 _{550m} 52 660m 2.776ha 123 49 NEW ROAD 22m WIDE 72 79 1250m 4.957ha SP311786 665_{445m²} 664 41 46 620m 0.5ha 0.325ha 3.25ha ROAD 60 125m 1 262ha 686 SHEET 0.169ha 639 _{450m²} 370 691 12 25 29 60m 1.123ha 726 663 707 666 450m² 9 10 0.325ha 13 SP198119 640° 300m² ≥300m² 14 63 206 1235m 4.639ha 0.780ha 12.940ha 662 JOINS 750 667 300m² 19 19 140m 732" 15 1.053ha 290m² 15m WIDE 641 S290m² 300m² 300m \$ 280m² 725 \$ 15m 280m ROAD 16.5m WIDE 15m 330m² 661 50 53 585m 2.889ha 300n 16 743 685 713 450m² 692 751 668 18 130m 18 0.577ha 290m² 450m² 706 642 733 300m² JAD 300m2 280m² 300m² 7425 ROAD 660 300m ROAD 684 56 460m 2.760ha 724 752 714 693 669 643° 300m² 300m² 19 67 73 700m 734 3.734ha 300m2 280m 741 ≥ 300m² 705 659 ROAD 280m2 683 Balance 2 158 155m 723 23.59ha 694 753 670° 715" 644 300m² NEW 735 300m² TOTAL 680 1093 8666m 5.139ha 3.404ha Total Area 77.83ha 740 300m² 658 682 704 722 716 300m² 695 671 300m2 754 NEW , 645 D 250m² 739 736 420m 28.0 300m² 300m² 300m² 300m² 681 657 7038 5 D_{400m²} ₹696 ^{30.0} 425m2721 717 672 300m2 646 755 295m² 295m² 702 g 300m² 738 330m² 300m 300m² 680 656 737 400m² 718 355m² 697 370m² 673 300m² 720 300m² 655 **ANDPARTNERS** 300m² 300m2 62 ^{375m²} 679 390m² 355m² 375m² 654 674 375m2 648 698 700 310m² 405m² 678 Brisbane Office 675 375m² 649 375m² 653 699 31578 18 Little Cribb Street t (07) 3842 1000 385m² 677 650_{345m²} Milton QLD 4064 f (07) 3842 1001 676 _{509m²} PO Box 1399 Milton QLD 4064 e info@landpartners.com.au ISO 9001:200 FS 535063 375m² 624 652 415m² w www.landpartners.com.au Pursuant to the *Economic* LEVEL DATUM Development Act 2012, this plan 651 420m² 494m² 623 LEVEL ORIGIN forms part of the MEDQ **Delegate's approval for** CONTOUR INTERVAL COMPUTER FILE BRSS3649-RL3-93-20 Approval No.: 21/2013/PDA DRAWN DATE TKW/NME 13/11/2023 196 20 100m CHECKED DATE NME/TKW Date: 22 November 2023 13/11/2023 SP157517 APPROVED DATE SRS 13/11/2023 SCALE 1:1500 @ A3 SHEET 8 OF 8 great places BRSS3649-RL3-85-21 NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF RESOURCES.



- All development is to be undertaken generally in accordance with the Development Approval.
- The notes contained within this Plan of Development apply also to the display home lots.
- The Display Homes and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
- The Ancillary Car Park and all associated improvements will be removed, and the site fully
- The maximum height of building on all lots must not exceed 2 storeys and 9m

- Front doors of dwellings are generally to address the Primary Street Frontage identified on the Plan of Development. Except for:
- (a) Lots 10 metres wide or less where the front entry (including side entrances) to all dwellings must be clearly defined, with elements such as a direct path and separate covered area at the front door. All dwellings should have a habitable room with windows facing onto the street to improve passive
- If a duplex corner lot then the units should address each frontage (except on a laneway frontage).
- Primary street frontage must contain pedestrian access and mail boxes with the appropriate street
- For the Lots 91, 463, 470, 502, 503 & 524 the frontage facing the internal 32m wide "Ripley Loop road" must be activated by the use of two or more of the following:
 - (a) Verandahs/ porches; (b) Awnings and shade structures; (c) Variation to roof and building lines; (d) Inclusion of window openings; & (e) Use of varying building materials
- 10. Setbacks are as per the Site Development Table unless otherwise specified.
- 11. Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Plan of Development for each stage. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
- 12. Built to boundary walls on lots greater than 10m wide are to have a maximum length of 15m and a maximum height of 3.5m.
- 13. Buildings on lots less than 10m wide may be built to more than one boundary only where indicated on the
 - (a) Built to boundary walls where indicated on the plan of development are mandatory for row and
- 14. Boundary setbacks are measured to the wall of the structure.
- 15. Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2100mm.
- 16. Minimum off-street parking requirements
- (a) One (1) and two (2) bedroom dwellings require a minimum one (1) covered space per dwelling; and
- (b) Three (3) or more bedroom dwellings require two (2) spaces per dwellings, one which must be capable of being covered (may be provided in tandem).
- 17. Lots less than 12.5m wide are to have a single width garage with a tandem parking space provided in front of the garage. However, double garages may be permitted where:
 - (a) A single storey dwelling is provided on a lot with a width of 10m or more and the garage is setback at least 800mm behind the face of the main dwelling; or
- (b) A double storey dwelling is provided on a lot with a width less than 12.5 metres and a 1m upper store or roof projection is provided over at least 50% of the garage opening width and both 17(c) and 17(d)
- (c) All dwellings are to have a window or balcony from a habitable room overlooking the street
- (d) The garage door width is to be a maximum of 6 metres or 50% of the width of the lot at the garage setback facade, whichever is the lesser.
- 18. Parking spaces on driveways do not have to comply with AS2890.
- **Development Act 2012, this plan** 19. All dwellings which are served off a Laneway must orientate their garages and carports to the Laneway--except for lots 11, 101-110, 804 & 813 which are to orientate garages and carports towards the primary frontage.

Site Cover and Amenity:

- 20. Site cover for each lot is not to exceed 65% of the lot. Except for lots under 10m wide and Duplex Lots which are not to exceed 75% of the lot.
- 21. Minimum private open space requirements:
 - (a) One (1) bedroom dwellings require a minimum 5m² with a minimum dimension of 1.2m; (b) Two (2) bedroom dwellings require a minimum 9m² with a minimum dimension of 2.4m;
 - (c) Three (3) bedroom dwellings require a minimum 12m² with a minimum dimension of 2.4m

- 22. Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 m in height unless vegetated (hedges etc.).
- 23. Fencing for the boundaries of any lots that adjoin drainage reserve, open space or pedestrian pathway must not be constructed more than 1.5m in height with a solid component of 1.2m. The balance is to be at least 50% permeable.
- 24. Fencing, which overlooks the 32m wide "Ripley Loop Road" (i.e. along the primary frontage of Lots 1-10, 28-35, 75-90, 427-429, 455-457, 467-469, 475-477, & 484-486 and secondary frontage of Lots 91, 463, 470, 502, 503, 524) must not be constructed more than 1.5m in height with a solid component of a maximum 1.2m. The balance is to be at least 50% permeable.

- 25. 'Duplex' lots are not permitted to be developed for only a single dwelling.
- 26. The number of dwellings per 'Duplex' lot is 2 dwellings
- 27. All duplex applications require compliance assessment against the approved Plan of Development and conditions of approval.
 - (a) Multiple residential lots must comply with PDA Guideline 7: Low Rise Buildings, the checklist included within PDA Guideline No. 1: Residential 30 and conditions of approval

Display Home Lots

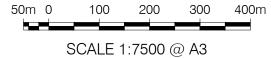
28. Carparking for development on the display home lots will be contained within the lots they are constructed on unless complying with Note 1 above.

High Density Development Easements

High density development easements may apply for all small lots in accordance with the Land Title Act 1994.

Building Location Envelope

- 30. Future development of single residential lots (including house construction, landscape and maintenance) to comply with the approved Bushfire Management Plan.
- 31. Any Buildings must be constructed in accordance with Section 8 of Acoustic Works, Acoustic Report dated the 13th November 2023. Lots identified in the Report have been marked with an asterisk *.
- 32. Terrace Lots, Row Lots, Dual Occupancies/Duplex and Multiple Residential (3 unit) Lots are subject to





SEKISUI HOUSE

PROJEC⁻

PLAN OF DEVELOPMENT LOTS 1 & 2 ON SP326583 (RIPLEY)

LOCAL AUTHORITY ECONOMIC DEVELOPMENT QUEENSLAND

(i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to ECONOMIC DEVELOPMENT QUEENSLAND for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Pty Ltd accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or clauses (ii) or (iii) hereof.

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	STAGE	No	. OF	NEW	OPENSPACE	DRNG	TOTAL	REFER TO
		LOTS	TITLES	ROAD	PARK&TPZ		AREA	SHEET
	1	40	44	754m	-	-	3.196ha	2
t	1b	40	42	333m	-	-	2.108ha	4
	2a	7	7	161m	-		1.078ha	4
	2b	37	43	292m	-	0.443	2.088ha	5
	3	10	10	268m	-		1.020ha	2
le	4	16	16	184m	-	-	0.446ha	2
	5	8	8	-	-	-	0.166ha	5
	6	29	37	322m	-	-	3.587ha	6
	7	12	12	26m	-	-	0.278ha	3
	8	14	15	73m	-	-	0.720ha	7
y	8a	-	-	123m	-	1.491ha	1.893ha	8
	9	49	52	660m	-	-	2.776ha	8
	10	72	79	1250m	-	0.195ha	4.957ha	9
	11	41	46	620m	0.5ha	0.325ha	3.25ha	10
	11a	1	60	125m	-	0.169ha	1.262ha	10
	12	25	29	60m	-	-	1.123ha	9
	13	9	10	-	-	-	0.325ha	11
	14	63	206	1235m	4.639ha	0.780ha	12.940ha	12,13,14
	15	19	19	140m	-	1	1.053ha	15
	16	50	53	585m	-	-	2.889ha	16
	17	18	18	130m	-	1	0.577ha	17
	18	51	56	460m	-	1	2.760ha	18
	19	67	73	700m	-	-	3.734ha	19
	Balance	2	158	155m	-	-	23.59ha	1
	TOTAL	680	1093	8666m	5.139ha	3.404ha	Total Area 77.83ha	

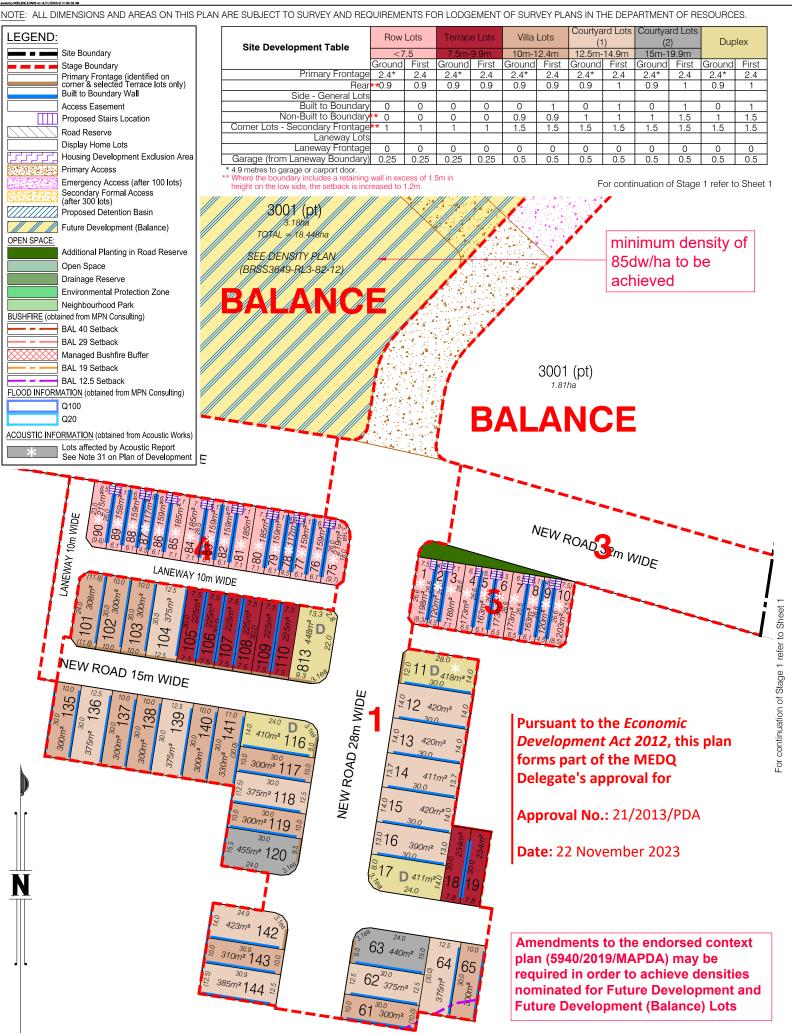


Level 1 18 Little Cribb Street Milton QLD 4064 PO Box 1399 Milton QLD 4064

t (07) 3842 1000 f (07) 3842 1001 e info@landpartners.com.au www.landpartners.com.a

LEVEL DATUM	-
LEVEL ORIGIN	-
CONTOUR INTERVAL	-
COMPUTER FILE	BRSS3649-RL3-93-20
DRAWN TKW/NME	DATE 13/11/2023
CHECKED NME/TKW	DATE 13/11/2023
APPROVED SRS	DATE 13/11/2023

SHEET 1 OF 19 BRSS3649-RL3-83-22



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Orientation

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Parking:

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Display Home Lots

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SEKISUI HOUSE

PROJECT

PLAN OF DEVELOPMENT LOTS 1 & 2 ON SP326583 (RIPLEY)

LOCAL ALITHORITY ECONOMIC DEVELOPMENT QUEENSLAND

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	STAGE	No	. OF	NEW	OPENSPACE	DRNG	TOTAL	REFER TO
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	1b	40	42	333m	-	-	2.108ha	4
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	6	29	37	322m	1	-	3.587ha	6
	7	12	12	26m	=	-	0.278ha	3
V	8	14	15	73m	-	-	0.720ha	7
У	8a	-	-	123m	-	1.491ha	1.893ha	8
	9	49	52	660m	-	-	2.776ha	8
	10	72	79	1250m	-	0.195ha	4.957ha	9
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	11a	1	60	125m	-	0.169ha	1.262ha	10
	12	25	29	60m	=	-	1.123ha	9
	13	9	10	-	1	-	0.325ha	11
	14	63	206	1235m	4.639ha	0.780ha	12.940ha	12,13,14
	15	19	19	140m		-	1.053ha	15
	16	50	53	585m	-	-	2.889ha	16
	17	18	18	130m	-	-	0.577ha	17
	18	51	56	460m	1	-	2.760ha	18
	19	67	73	700m	-	-	3.734ha	19
	Balance	2	158	155m	-	-	23.59ha	1
	TOTAL	680	1093	8666m	5.139ha	3.404ha	Total Area 77.83ha	



Brisbane Office

18 Little Cribb Street t (07) 3842 1000 Milton QLD 4064 f (07) 3842 1001 PO Box 1399

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Milton QLD 4064 w www.lane	dpartners.com.au FS 535063
LEVEL DATUM	-
LEVEL ORIGIN	-
CONTOUR INTERVAL	-
COMPUTER FILE	BRSS3649-RL3-93-20
DRAWN TKW/NME	DATE 13/11/2023
CHECKED NME/TKW	DATE 13/11/2023
APPROVED SRS	DATE 13/11/2023
IDN	SHEET 2 OF 19

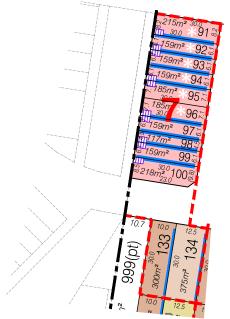
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${\underline{\sf NOTE}}$: ALL DIMENSIONS AND AREAS ON THIS P
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Stage Boundary
Primary Frontage (identified on corner & selected Terrace lots only) Built to Boundary Wall
Access Easement
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Display Home Lots
Housing Development Exclusion Area Primary Access
Emergency Access (after 100 lots) Secondary Formal Access (after 300 lots)
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OPEN SPACE:
Additional Planting in Road Reserve
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Q100
Q20
ACOUSTIC INFORMATION (obtained from Acoustic Works)
Lots affected by Acoustic Report See Note 31 on Plan of Development

Site Development Table	Row Lots		Terrace Lots 7.5m-9.9m		Villa I		Courtyar (1))	Courtya (2 15m-1	.)	Dup	lex
	Ground		Ground	First	Ground	First	Ground	First	Ground	First	Ground	First
Primary Frontage	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4
Rear	** 0.9	0.9	0.9	0.9	0.9	0.9	0.9	1	0.9	1	0.9	1
Side - General Lots												
Built to Boundary	0	0	0	0	0	1	0	1	0	1	0	1
Non-Built to Boundary	** 0	0	0	0	0.9	0.9	1	1	1	1.5	1	1.5
Corner Lots - Secondary Frontage	** 1	1	1	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Laneway Lots												
Laneway Frontage	0	0	0	0	0	0	0	0	0	0	0	0
Garage (from Laneway Boundary)	0.25	0.25	0.25	0.25	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5



Pursuant to the *Economic* Development Act 2012, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 21/2013/PDA

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General:

- 1. All development is to be undertaken generally in accordance with the Development Approval.
- The notes contained within this Plan of Development apply also to the display home lots.
- The Display Homes and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
- The Ancillary Car Park and all associated impro
- 5. The maximum height of building on all lots must not exceed 2 storeys and 9m.

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- 7. If a duplex corner lot then the units should address each frontage (except on a laneway frontage). 8. Primary street frontage must contain pedestrian access and mail boxes with the appropriate street numbers.
- 9. For the Lots 91, 463, 470, 502, 503 & 524 the frontage facing the internal 32m wide "Ripley Loop road" must be activated by the use of two or more of the following:

 - (a) Verandahs/ porches; (b) Awnings and shade structures; (c) Variation to roof and building lines; (d) Inclusion of window openings; & (e) Use of varying building materials

Setbacks:

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- 11. Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Plan of Development for each stage. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
- 12. Built to boundary walls on lots greater than 10m wide are to have a maximum length of 15m and a
- 13. Buildings on lots less than 10m wide may be built to more than one boundary only where indicated on the
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- 14. Boundary setbacks are measured to the wall of the structure.

of being covered (may be provided in tandem).

15. Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2100mm

- 16. Minimum off-street parking requirements
- (a) One (1) and two (2) bedroom dwellings require a minimum one (1) covered space per dwelling; and (b) Three (3) or more bedroom dwellings require two (2) spaces per dwellings, one which must be capable
- 17. Lots less than 12.5m wide are to have a single width garage with a tandem parking space provided in front of the garage. However, double garages may be permitted where:
 - (a) A single storey dwelling is provided on a lot with a width of 10m or more and the garage is setback at least 800mm behind the face of the main dwelling; or
 - (b) A double storey dwelling is provided on a lot with a width less than 12.5 metres and a 1m upper storey or roof projection is provided over at least 50% of the garage opening width and both 17(c) and 17(d)
 - (c) All dwellings are to have a window or balcony from a habitable room overlooking the street.
- (d) The garage door width is to be a maximum of 6 metres or 50% of the width of the lot at the garage setback facade, whichever is the lesser.
- 18. Parking spaces on driveways do not have to comply with AS2890.
- All dwellings which are served off a Laneway must orientate their garages and carports to the Laneway--except for lots 11, 101-110, 804 & 813 which are to orientate garages and carports towards the primary frontage.

Site Cover and Amenity:

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 - (c) Three (3) bedroom dwellings require a minimum 12m² with a minimum dimension of 2.4m

Fencing:

- 22. Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 m in height unless vegetated (hedges etc.).
- 23. Fencing for the boundaries of any lots that adjoin drainage reserve, open space or pedestrian pathways must not be constructed more than 1.5m in height with a solid component of 1.2m. The balance is to be at
- Fencing, which overlooks the 32m wide "Ripley Loop Road" (i.e. along the primary frontage of Lots 1-10, 28-35, 75-90, 427-429, 455-457, 467-469, 475-477, & 484-486 and secondary frontage of Lots 91, 463, 470, 502, 503, 524) must not be constructed more than 1.5m in height with a solid component of a maximum 1.2m. The balance is to be at least 50% permeable.

Duplex Lots:

- 25. 'Duplex' lots are not permitted to be developed for only a single dwelling.
- 26. The number of dwellings per 'Duplex' lot is 2 dwellings.
- 27. All duplex applications require compliance assessment against the approved Plan of Development and (a) Multiple residential lots must comply with PDA Guideline 7: Low Rise Buildings, the
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Display Home Lots

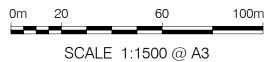
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29. High density development easements may apply for all small lots in accordance with the Land Title Act 1994.

Building Location Envelope

- 30. Future development of single residential lots (including house construction, landscape and maintenance) to comply with the approved Bushfire Management Plan.
- 31. Any Buildings must be constructed in accordance with Section 8 of Acoustic Works, Acoustic Report dated the 13th November 2023. Lots identified in the Report have been marked with an asterisk
- 32. Terrace Lots, Row Lots, Dual Occupancies/Duplex and Multiple Residential (3 unit) Lots are subject to compliance assessmen





CLIENT **SEKISUI HOUSE**

PROJECT

PLAN OF DEVELOPMENT LOTS 1 & 2 ON SP326583 (RIPLEY)

LOCAL ALITHORITY ECONOMIC DEVELOPMENT QUEENSLAND

(i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to ECONOMIC DEVELOPMENT QUEENSLAND for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Pty Ltd accepts no responsibility for any loss or damage

suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or

- (iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natural requirements for lodgement on Resources, Mines and Energy.
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STAGE	No. OF				DRNG	TOTAL	REFER TO
	LOTS	TITLES	ROAD	PARK&TPZ		AREA	SHEET
1	40	44	754m	-	-	3.196ha	2
1b	40	42	333m	-	1	2.108ha	4
2a	7	7	161m	1	-	1.078ha	4
2b	37	43	292m		0.443	2.088ha	5
3	10	10	268m	-	-	1.020ha	2
4	16	16	184m	-	-	0.446ha	2
5	8	8	-	-	-	0.166ha	5
6	29	37	322m	-	-	3.587ha	6
7	12	12	26m	-	-	0.278ha	3
8	14	15	73m	-	-	0.720ha	7
8a	-	-	123m	-	1.491ha	1.893ha	8
9	49	52	660m	-	-	2.776ha	8
10	72	79	1250m	-	0.195ha	4.957ha	9
11	41	46	620m	0.5ha	0.325ha	3.25ha	10
11a	1	60	125m	-	0.169ha	1.262ha	10
12	25	29	60m	-	-	1.123ha	9
13	9	10	-	-	-	0.325ha	11
14	63	206	1235m	4.639ha	0.780ha	12.940ha	12,13,14
15	19	19	140m	-	-	1.053ha	15
16	50	53	585m	-	-	2.889ha	16
17	18	18	130m	-	-	0.577ha	17
18	51	56	460m	-		2.760ha	18
19	67	73	700m	-	-	3.734ha	19
Balance	2	158	155m	-	-	23.59ha	1
TOTAL	680	1093	8666m	5.139ha	3.404ha	Total Area 77.83ha	·



Brisbane Office

18 Little Cribb Street t (07) 3842 1000 Milton QLD 4064 f (07) 3842 1001 PO Box 1399 Milton QLD 4064 e info@landpartners.com.au

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LEVEL DATUM	-	
LEVEL ORIGIN	-	
CONTOUR INTERVAL	-	
COMPUTER FILE	BRSS3649	-RL3-93-20
DRAWN TKW/NME	DATE	13/11/2023
CHECKED NME/TKW	DATE	13/11/2023
APPROVED SRS	DATE	13/11/2023
		011555 0 05 40

SHEET 3 OF 19 BRSS3649-RL3-83-22

NOTE: ALL DIMENSIONS AND AREAS ON THIS PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF RESOURCES. LEGEND: Duplex Site Development Table Site Boundary 10m-12.4m 12.5m-14.9m 15m-19.9m Stage Boundary round First Ground First Ground First Ground First Ground First Ground First Primary Frontage (identified on corner & selected Terrace lots only) 2.4* 2.4 2.4* 2.4 2.4* 2.4 2.4* 2.4 2.4* 2.4 2.4* 2.4 Real 0.9 0.9 0.9 0.9 0.9 1 0.9 1 0.9 Built to Boundary Wall Side - General Lots Access Easement Built to Boundary Non-Built to Boundary 0 0.9 0.9 Proposed Stairs Location Corner Lots - Secondary Frontage Road Reserve Laneway Lo Display Home Lots Laneway Frontage Housing Development Exclusion Are Garage (from Laneway Boundary) Primary Access 4.9 metres to garage or carport door. cludes a retaining wall in excess of 1.5m in Emergency Access (after 100 lots) height on the low side, the setback is increased to 1.2m Secondary Formal Access (after 300 lots) Proposed Detention Basin Future Development (Balance) OPEN SPACE: Additional Planting in Road Reserve

NEW ROAD 15m WIDE 160 161 162 165 151 150 49 48 445m2 146 NEW ROAD 15m WIDE 59 425m2 58 55 56 202 NEW ROAD 15m WIDE 205 68 83 181 182 NEW ROAD 400m² 72 3005 (Pt 3005 (Pt)

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Approval No.: 21/2013/PDA

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Open Space

BUSHFIRE (obtained from MPN Consulting)

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BAL 40 Setback

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Display Home Lots

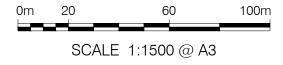
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SEKISUI HOUSE

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PO Box 1399 Milton QLD 4064	e info@landpartners w www.landpartners	
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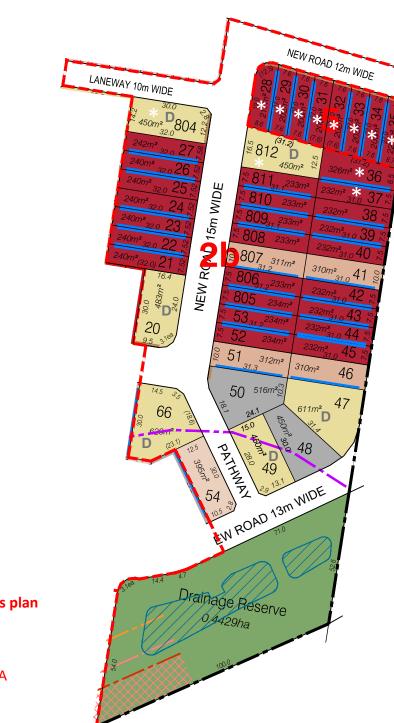
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	Proposed Stairs Location	
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	Q100	
	Q20	
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Site Development Table		Row Lots Terrace Lots			Villa Lots		Courtyard Lots (1)		Courtyard Lots (2)		Duplex	
one zererepinent rubie	<7	7.5 7.5m-9.9m		10m-1	10m-12.4m		14.9m	15m-19.9m				
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Non-Built to Boundary	** 0	0	0	0	0.9	0.9	1	1	1	1.5	1	1.5
Corner Lots - Secondary Frontage	** 1	1	1	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Laneway Lots												
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Garage (from Laneway Boundary)	0.25	0.25	0.25	0.25	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5

* 4.9 metres to garage or carport door.

height on the low side, the setback is increased to 1.2m



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- For the Lots 91, 463, 470, 502, 503 & 524 the frontage facing the internal 32m wide "Ripley Loop road" must be activated by the use of two or more of the following:
- (a) Verandahs/ porches; (b) Awnings and shade structures; (c) Variation to roof and building lines; (d) Inclusion of window openings; & (e) Use of varying building materials

Setbacks:

- 10. Setbacks are as per the Site Development Table unless otherwise specified.
- 11. Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Plan of Development for each stage. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
- 12. Built to boundary walls on lots greater than 10m wide are to have a maximum length of 15m and a
- 13. Buildings on lots less than 10m wide may be built to more than one boundary only where indicated on the
 - (a) Built to boundary walls where indicated on the plan of development are mandatory for row and
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Parking:

- 16. Minimum off-street parking requirements
- (a) One (1) and two (2) bedroom dwellings require a minimum one (1) covered space per dwelling; and (b) Three (3) or more bedroom dwellings require two (2) spaces per dwellings, one which must be capable
- 17. Lots less than 12.5m wide are to have a single width garage with a tandem parking space provided in front of the garage. However, double garages may be permitted where:
 - (a) A single storey dwelling is provided on a lot with a width of 10m or more and the garage is setback at least 800mm behind the face of the main dwelling; or
 - (b) A double storey dwelling is provided on a lot with a width less than 12.5 metres and a 1m upper storey or roof projection is provided over at least 50% of the garage opening width and both 17(c) and 17(d)
- (c) All dwellings are to have a window or balcony from a habitable room overlooking the street.
- (d) The garage door width is to be a maximum of 6 metres or 50% of the width of the lot at the garage setback facade, whichever is the lesser.
- 18. Parking spaces on driveways do not have to comply with AS2890.
- All dwellings which are served off a Laneway must orientate their garages and carports to the Laneway--except for lots 11, 101-110, 804 & 813 which are to orientate garages and carports towards the primary frontage.

Site Cover and Amenity:

- 20. Site cover for each lot is not to exceed 65% of the lot. Except for lots under 10m wide and Duplex Lots which are not to exceed 75% of the lot.
- 21. Minimum private open space requirements:
 - (a) One (1) bedroom dwellings require a minimum 5m² with a minimum dimension of 1.2m;
 - (b) Two (2) bedroom dwellings require a minimum 9m² with a minimum dimension of 2.4m;
 - (c) Three (3) bedroom dwellings require a minimum 12m² with a minimum dimension of 2.4m

Fencing:

- 22. Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 m in height unless vegetated (hedges etc.).
- 23. Fencing for the boundaries of any lots that adjoin drainage reserve, open space or pedestrian pathways must not be constructed more than 1.5m in height with a solid component of 1.2m. The balance is to be at
- Fencing, which overlooks the 32m wide "Ripley Loop Road" (i.e. along the primary frontage of Lots 1-10, 28-35, 75-90, 427-429, 455-457, 467-469, 475-477, & 484-486 and secondary frontage of Lots 91, 463, 470, 502, 503, 524) must not be constructed more than 1.5m in height with a solid component of a maximum 1.2m. The balance is to be at least 50% permeable.

Duplex Lots:

- 25. 'Duplex' lots are not permitted to be developed for only a single dwelling.
- 26. The number of dwellings per 'Duplex' lot is 2 dwellings.
- 27. All duplex applications require compliance assessment against the approved Plan of Development and
 - (a) Multiple residential lots must comply with PDA Guideline 7: Low Rise Buildings, the checklist included within PDA Guideline No. 1: Residential 30 and conditions of approval

Display Home Lots

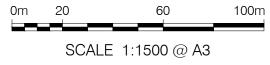
28. Carparking for development on the display home lots will be contained within the lots they are constructed on unless complying with Note 1 above.

High Density Development Easements

29. High density development easements may apply for all small lots in accordance with the Land Title Act 1994.

Building Location Envelope

- 30. Future development of single residential lots (including house construction, landscape and maintenance) to comply with the approved Bushfire Management Plan.
- 31. Any Buildings must be constructed in accordance with Section 8 of Acoustic Works, Acoustic Report dated the 13th November 2023. Lots identified in the Report have been marked with an asterisk
- 32. Terrace Lots, Row Lots, Dual Occupancies/Duplex and Multiple Residential (3 unit) Lots are subject to compliance assessmen





SEKISUI HOUSE

PROJECT

PLAN OF DEVELOPMENT LOTS 1 & 2 ON SP326583 (RIPLEY)

LOCAL ALITHORITY ECONOMIC DEVELOPMENT QUEENSLAND

(i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to ECONOMIC DEVELOPMENT QUEENSLAND for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by

any other person or corporation. LandPartners Pty Ltd accepts no responsibility for any loss or damage suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or

- (iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natural requirements for lodgement on Resources, Mines and Energy.
- (iv) This plan may not be copied unless these notes are included.

	STAGE			NEW	OPENSPACE	DRNG	TOTAL	REFER TO
		LOTS	TITLES	ROAD	PARK&TPZ		AREA	SHEET
	1	40	44	754m	-	-	3.196ha	2
	1b	40	42	333m	-	-	2.108ha	4
	2a	7	7	161m	-	-	1.078ha	4
	2b	37	43	292m	-	0.443	2.088ha	5
	3	10	10	268m	-	-	1.020ha	2
9	4	16	16	184m	-	-	0.446ha	2
	5	8	8	-	-	-	0.166ha	5
	6	29	37	322m	-	-	3.587ha	6
	7	12	12	26m	-	-	0.278ha	3
	8	14	15	73m	-	-	0.720ha	7
/	8a	-	-	123m	-	1.491ha	1.893ha	8
	9	49	52	660m	-	-	2.776ha	8
	10	72	79	1250m	-	0.195ha	4.957ha	9
	11	41	46	620m	0.5ha	0.325ha	3.25ha	10
	11a	1	60	125m	-	0.169ha	1.262ha	10
	12	25	29	60m	-	-	1.123ha	9
	13	9	10	-	-	-	0.325ha	11
	14	63	206	1235m	4.639ha	0.780ha	12.940ha	12,13,14
	15	19	19	140m	-	-	1.053ha	15
	16	50	53	585m	-	-	2.889ha	16
	17	18	18	130m	-	-	0.577ha	17
	18	51	56	460m	-	-	2.760ha	18
	19	67	73	700m	-	-	3.734ha	19
	Balance	2	158	155m	-	-	23.59ha	1
	TOTAL	680	1093	8666m	5.139ha	3.404ha	Total Area 77.83ha	·



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CHECKED NME/T	-KW DATE	13/11/2023
APPROVED SRS	DATE	13/11/2023
UDN DDGG	0040 DL 0 00 0	SHEET 5 OF 19

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AN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF RESOURCES.

$\underline{NOTE} : ALL \ DIMENSIONS \ AND \ AREAS \ ON \ THIS \ PL$							
LEGEND:							
Site Boundary							
Stage Boundary							
Primary Frontage (identified on corner & selected Terrace lots only)							
Built to Boundary Wall							
Access Easement							
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Display Home Lots							
Housing Development Exclusion Area							
Primary Access							
Emergency Access (after 100 lots)							
Secondary Formal Access (after 300 lots)							
(after 300 lots) Proposed Detention Basin							
Future Development (Balance)							
OPEN SPACE:							
Additional Planting in Road Reserve							
Open Space							
Drainage Reserve							
Environmental Protection Zone							
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BUSHFIRE (obtained from MPN Consulting)							
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Q20							
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Lots affected by Acoustic Report							
See Note 31 on Plan of Development							

Site Development Table	Row Lots Terrace L		e Lots	Villa Lots		Courtyard Lots (1)		Courtyard Lots (2)		Duplex		
One Development ruble	< 7	'.5	7.5m-9.9m		10m-12.4m		12.5m-14.9m		15m-19.9m			
	Ground	First	Ground	First	Ground	First	Ground	First	Ground	First	Ground	First
Primary Frontage	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4
Rear	** 0.9	0.9	0.9	0.9	0.9	0.9	0.9	1	0.9	1	0.9	1
Side - General Lots												
Built to Boundary	0	0	0	0	0	1	0	1	0	1	0	1
Non-Built to Boundary		0	0	0	0.9	0.9	1	1	1	1.5	1	1.5
Corner Lots - Secondary Frontage	** 1	1	1	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Laneway Lots												
Laneway Frontage	0	0	0	0	0	0	0	0	0	0	0	0
Garage (from Laneway Boundary)	0.25	0.25	0.25	0.25	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5

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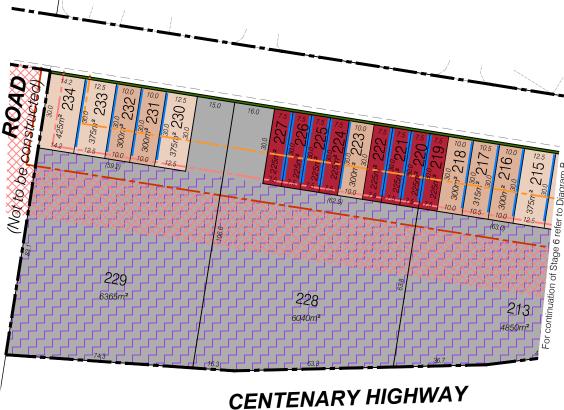


DIAGRAM A

Scale: 1:1500 @ A3

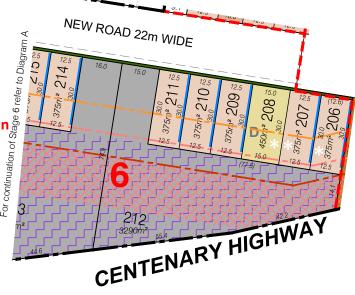
DIAGRAM B

Scale: 1:1500 @ A3

Pursuant to the *Economic* Development Act 2012, this plan \ddot{s} forms part of the MEDQ Delegate's approval for

Approval No.: 21/2013/PDA

Date: 22 November 2023



General:

- 1. All development is to be undertaken generally in accordance with the Development Approval.
- The notes contained within this Plan of Development apply also to the display home lots.
- The Display Homes and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
- The Ancillary Car Park and all associated in
- 5. The maximum height of building on all lots must not exceed 2 storeys and 9m.

Orientation

- Front doors of dwellings are generally to address the Primary Street Frontage identified on the Plan of Development. Except for:
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- Lots less than 12.5m wide are to have a single width garage with a tandem parking space provided in front of the garage. However, double garages may be permitted where:
 - (a) A single storey dwelling is provided on a lot with a width of 10m or more and the garage is setback at least 800mm behind the face of the main dwelling; or
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Display Home Lots

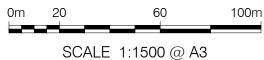
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SEKISUI HOUSE

PROJEC1

PLAN OF DEVELOPMENT LOTS 1 & 2 ON SP326583 (RIPLEY)

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Brisbane Office

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w www.landpartners.com.au LEVEL DATUM LEVEL ORIGIN CONTOUR INTERVAL COMPUTER FILE BRSS3649-RL3-93-20 DRAWN DATE TKW/NME 13/11/2023 CHECKED DATE NME/TKW 13/11/2023 APPROVED DATE SRS 13/11/2023 SHEET 6 OF 19

BRSS3649-RL3-83-22

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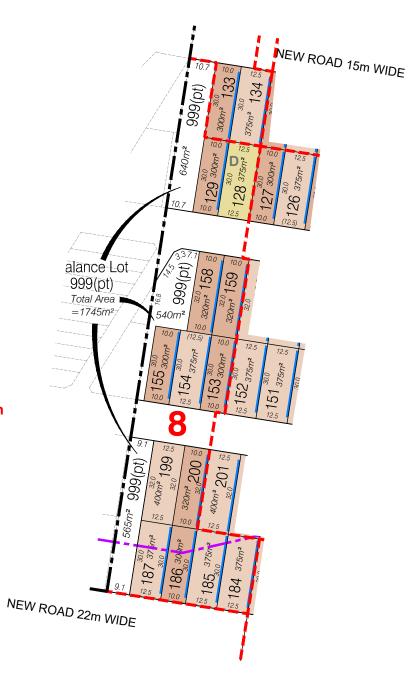
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Primary Frontage (identified on corner & selected Terrace lots only) Built to Boundary Wall
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Emergency Access (after 100 lots) Secondary Formal Access (after 300 lots)
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Site Development Table	Row				Villa		(1	(1)		Courtyard Lots (2)		Duplex	
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Side - General Lots	5												
Built to Boundary		0	0	0	0	1	0	1	0	1	0	1	
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Corner Lots - Secondary Frontage	** 1	1	1	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	
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Laneway Frontage	0	0	0	0	0	0	0	0	0	0	0	0	
Garage (from Laneway Boundary)	0.25	0.25	0.25	0.25	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5	

* 4.9 metres to garage or carport door.

height on the low side, the setback is increased to 1.2m



Pursuant to the *Economic* Development Act 2012, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 21/2013/PDA

Date: 22 November 2023

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 - (b) A double storey dwelling is provided on a lot with a width less than 12.5 metres and a 1m upper storey or roof projection is provided over at least 50% of the garage opening width and both 17(c) and 17(d)
- (c) All dwellings are to have a window or balcony from a habitable room overlooking the street.
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Site Cover and Amenity:

- 20. Site cover for each lot is not to exceed 65% of the lot. Except for lots under 10m wide and Duplex Lots which are not to exceed 75% of the lot.
- 21. Minimum private open space requirements:
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Fencing:

- 22. Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 m in height unless vegetated (hedges etc.).
- 23. Fencing for the boundaries of any lots that adjoin drainage reserve, open space or pedestrian pathways must not be constructed more than 1.5m in height with a solid component of 1.2m. The balance is to be at
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- 26. The number of dwellings per 'Duplex' lot is 2 dwellings.
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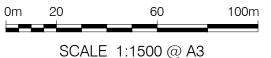
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SEKISUI HOUSE

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No OF NEW OPENSPACE DRNG TOTAL DE

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	STAGE No. OF		. OF	NEW	OPENSPACE	DRNG	TOTAL	REFER TO
		LOTS	TITLES	ROAD	PARK&TPZ		AREA	SHEET
	1	40	44	754m	-	i	3.196ha	2
	1b	40	42	333m	-	-	2.108ha	4
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	8a	-	-	123m	-	1.491ha	1.893ha	8
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	18	51	56	460m	-	ı	2.760ha	18
	19	67	73	700m	-	-	3.734ha	19
	Balance	2	158	155m	-	-	23.59ha	1
	TOTAL	680	1093	8666m	5.139ha	3.404ha	Total Area 77.83ha	·



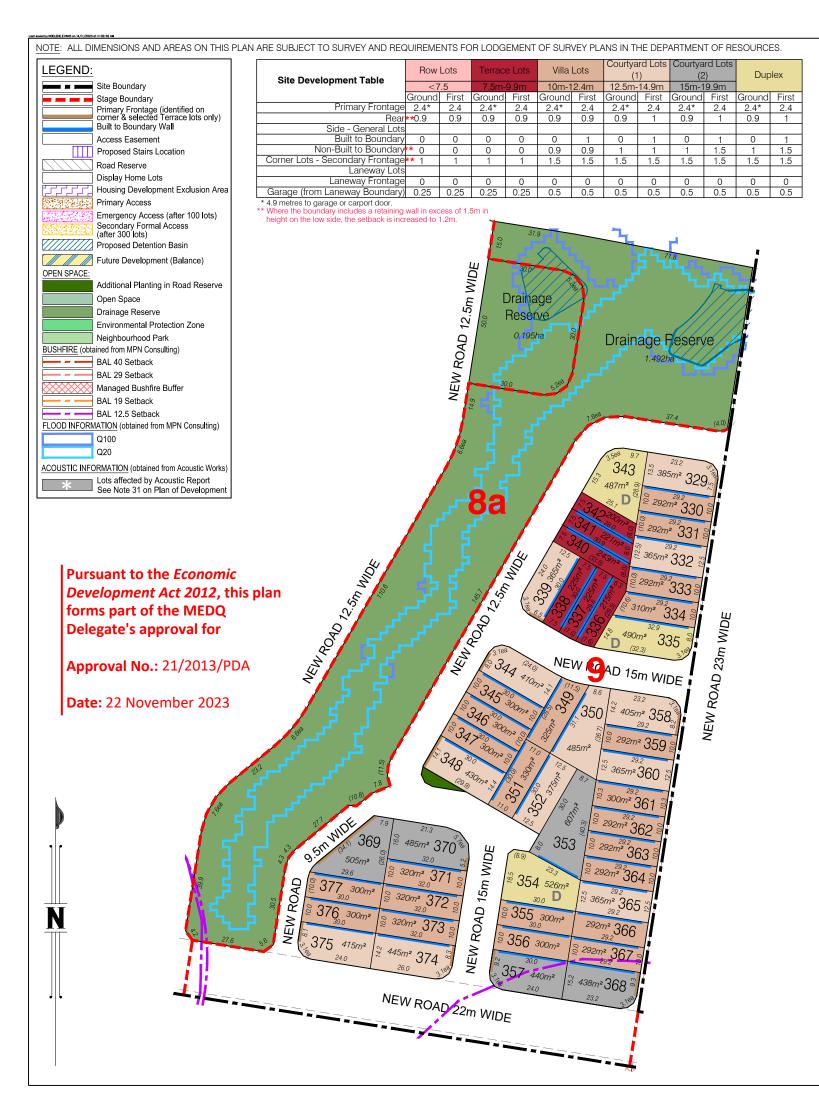
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Milton QLD 4064	w www.landpartners.com.a	au FS 535063
LEVEL DATUM	-	
LEVEL ORIGIN	-	
CONTOUR INTER	VAL _	
COMPUTER FILE	BRSS364	9-RL3-93-20
DRAWN TKW/I	NME DATE	13/11/2023
CHECKED NME/	TKW DATE	13/11/2023
APPROVED SF	RS DATE	13/11/2023
LIDN		SHEET 7 OF 19

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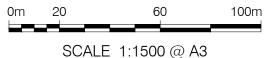
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PROJECT

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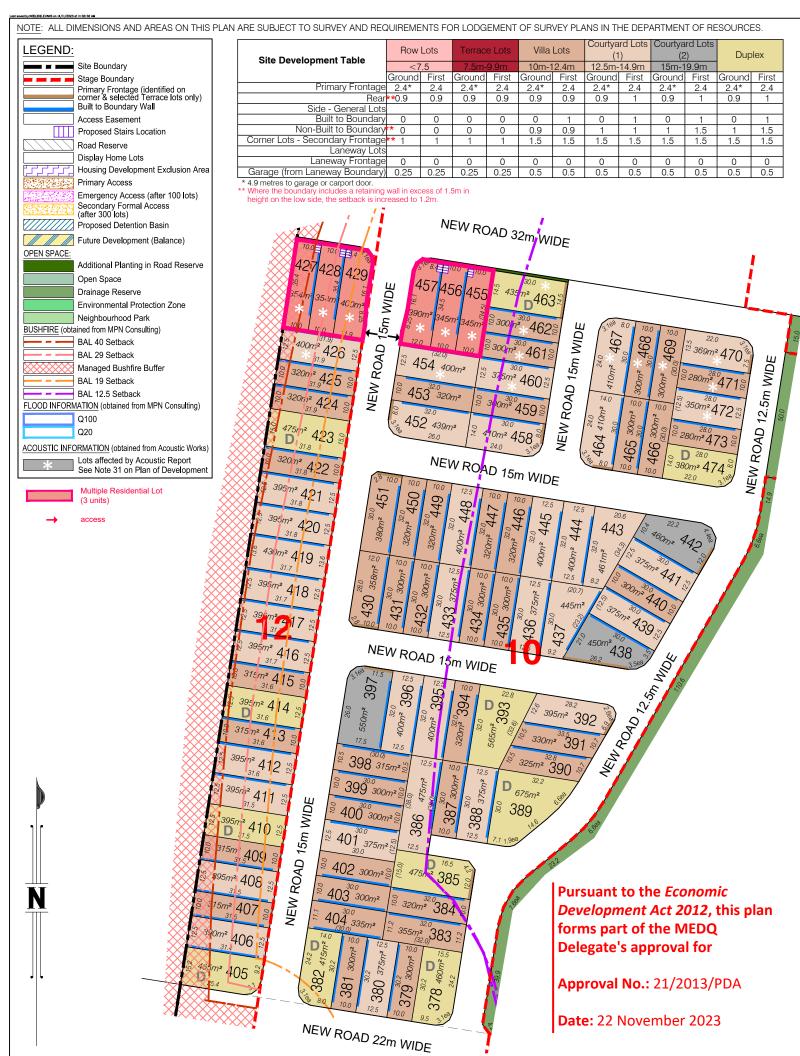


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LEVEL DATUM	-							
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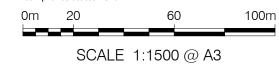
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SEKISUI HOUSE

PROJEC1

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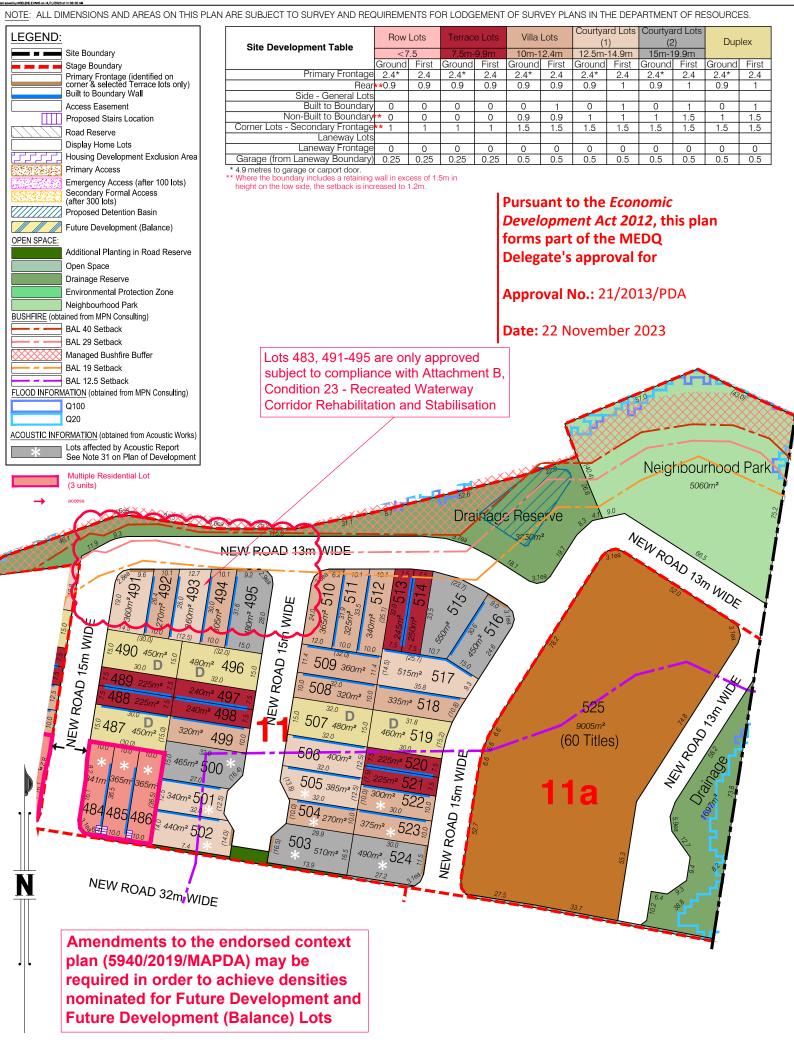
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EVEL DATUM	-	
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CONTOUR INTERV	AL _	
COMPUTER FILE	BRSS3649	9-RL3-93-20
DRAWN TKW/N	ME DATE	13/11/2023
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 - (a) Multiple residential lots must comply with PDA Guideline 7: Low Rise Buildings, the checklist included within PDA Guideline No. 1: Residential 30 and conditions of approval

Display Home Lots

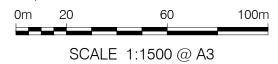
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29. High density development easements may apply for all small lots in accordance with the Land Title Act 1994.

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- 30. Future development of single residential lots (including house construction, landscape and maintenance) to comply with the approved Bushfire Management Plan.
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SEKISUI HOUSE

PROJECT

PLAN OF DEVELOPMENT LOTS 1 & 2 ON SP326583 (RIPLEY)

LOCAL ALITHORITY ECONOMIC DEVELOPMENT QUEENSLAND

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suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or

- (iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natural requirements for lodgement on Resources, Mines and Energy.
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	STAGE			NEW	OPENSPACE	DRNG	TOTAL	REFER TO	
				ROAD	PARK&TPZ		AREA	SHEET	
	1	40	44	754m	-	-	3.196ha	2	
	1b	40	42	333m	-	-	2.108ha	4	
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	11a	1	60	125m	-	0.169ha	1.262ha	10	
	12	25	29	60m	-	-	1.123ha	9	
	13	9	10	-	-	-	0.325ha	11	
	14	63	206	1235m	4.639ha	0.780ha	12.940ha	12,13,14	
	15	19	19	140m	-	ı	1.053ha	15	
	16	50	53	585m	-	ı	2.889ha	16	
	17	18	18	130m	-	ı	0.577ha	17	
	18	51	56	460m	-	-	2.760ha	18	
	19	67	73	700m	-	-	3.734ha	19	
	Balance	2	158	155m	-	-	23.59ha	1	
	TOTAL	680	1093	8666m	5.139ha	3.404ha	Total Area 77.83ha		



18 Little Cribb Street

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f (07) 3842 1001 e info@landpartners.com.au

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LEVEL DATUM	-	
LEVEL ORIGIN	-	
CONTOUR INTERVAL	-	
COMPUTER FILE	BRSS3649	-RL3-93-20
DRAWN TKW/NME	DATE	13/11/2023
CHECKED NME/TKW	DATE	13/11/2023
APPROVED SRS	DATE	13/11/2023
UDN DD0000101		SHEET 10 OF 19

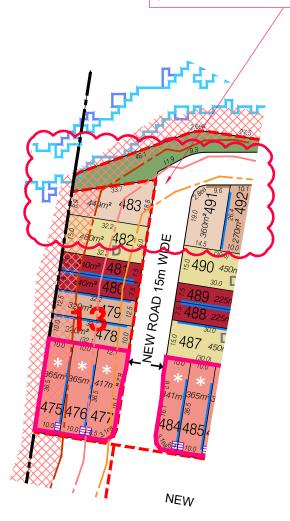
PLAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF RESOURCES

NOTE: ALL DIMENSIONS AND AREAS ON THIS I	2
LEGEND:	
Site Boundary	
Stage Boundary	
Primary Frontage (identified on corner & selected Terrace lots only) Built to Boundary Wall	
Access Easement	
Proposed Stairs Location	
Road Reserve	
Display Home Lots	
Housing Development Exclusion Area	
Primary Access	
Emergency Access (after 100 lots) Secondary Formal Access	
(after 300 lots)	
Proposed Detention Basin	
Future Development (Balance)	
OPEN SPACE:	
Additional Planting in Road Reserve	
Open Space	
Drainage Reserve	
Environmental Protection Zone	
Neighbourhood Park	
BUSHFIRE (obtained from MPN Consulting)	
BAL 40 Setback	
BAL 29 Setback	
Managed Bushfire Buffer	
BAL 19 Setback	
BAL 12.5 Setback	
FLOOD INFORMATION (obtained from MPN Consulting)	
Q100	
Q20	
ACOUSTIC INFORMATION (obtained from Acoustic Works) Lots affected by Acoustic Report	
See Note 31 on Plan of Development	

Site Development Table	Row <7		Terrace 7.5m-		Villa 10m-1		Courtya (1 12.5m-)	Courtya (2 15m-1)	Dup	lex
	Ground	First	Ground	First	Ground	First	Ground	First	Ground	First	Ground	First
Primary Frontage	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4
Rear	** 0.9	0.9	0.9	0.9	0.9	0.9	0.9	1	0.9	1	0.9	1
Side - General Lots												
Built to Boundary	0	0	0	0	0	1	0	1	0	1	0	1
Non-Built to Boundary	** 0	0	0	0	0.9	0.9	1	1	1	1.5	1	1.5
Corner Lots - Secondary Frontage	** 1	1	1	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Laneway Lots												
Laneway Frontage	0	0	0	0	0	0	0	0	0	0	0	0
Garage (from Laneway Boundary)	0.25	0.25	0.25	0.25	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5

4.9 metres to garage or carport door.

Lots 483, 491-495 are only approved subject to compliance with Attachment B, Condition 23 - Recreated Waterway Corridor Rehabilitation and Stabilisation



Pursuant to the *Economic* Development Act 2012, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 21/2013/PDA

Date: 22 November 2023

General:

- 1. All development is to be undertaken generally in accordance with the Development Approval.
- The notes contained within this Plan of Development apply also to the display home lots.
- The Display Homes and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
- The Ancillary Car Park and all associated impro
- 5. The maximum height of building on all lots must not exceed 2 storeys and 9m.

Orientation:

- Front doors of dwellings are generally to address the Primary Street Frontage identified on the Plan of Development. Except for:
- (a) Lots 10 metres wide or less where the front entry (including side entrances) to all dwellings must be clearly defined, with elements such as a direct path and separate covered area at the front door. All dwellings should have a habitable room with windows facing onto the street to improve passive
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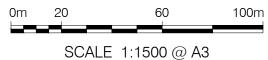
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STAGE NO DE NEW OPENSPACE DRNG TOTAL DECED TO

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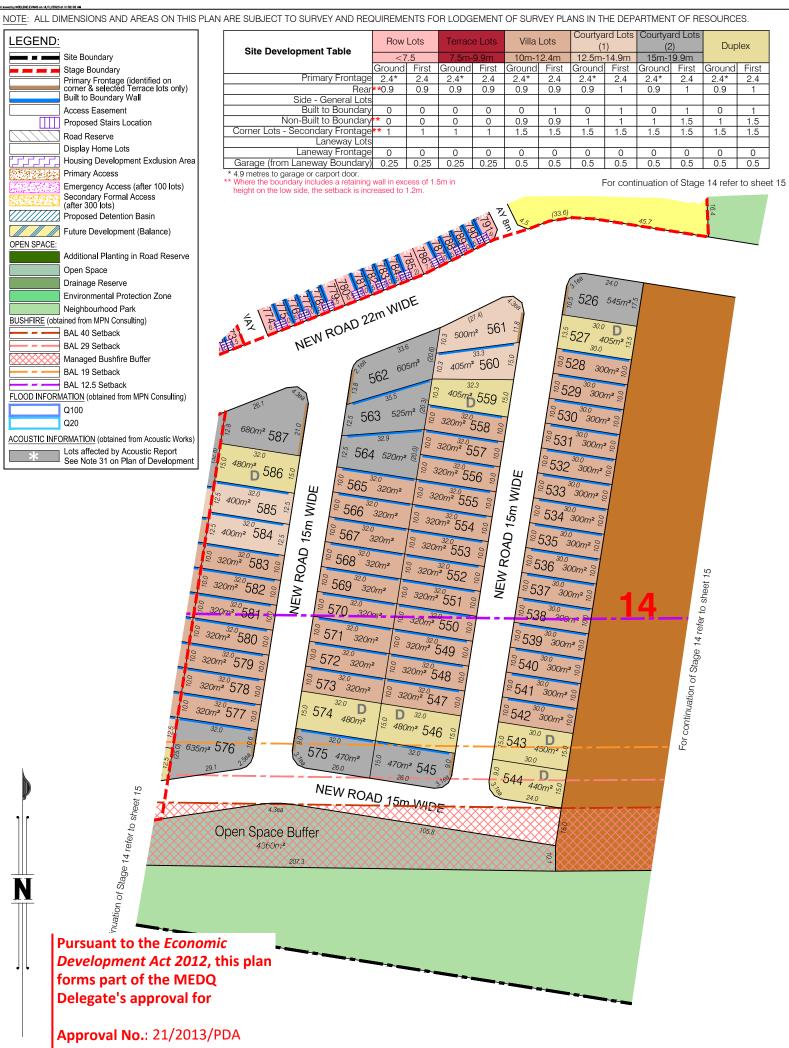
Brisbane Office 18 Little Cribb Street PO Box 1399

t (07) 3842 1000 Milton QLD 4064 f (07) 3842 1001 e info@landpartners.com.au Milton QLD 4064 w www landnartners com au

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CONTOUR INTERV	AL _	
COMPUTER FILE	BRSS36	49-RL3-93-20
DRAWN TKW/N	ME DATE	13/11/2023
CHECKED NME/T	KW DATE	13/11/2023
APPROVED SRS	DATE	13/11/2023
UDN		SHEET 11 OF 19

cludes a retaining wall in excess of 1.5m in height on the low side, the setback is increased to 1.2m



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SEKISUI HOUSE

PROJEC1

PLAN OF DEVELOPMENT LOTS 1 & 2 ON SP326583 (RIPLEY)

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(iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natural requirements for lodgement on Resources, Mines and Energy.

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No OF NEW OPENSPACE DRICE TOTAL IN

	STAGE	No. OF		NEW	OPENSPACE	DRNG	TOTAL	REFER TO	
		LOTS	TITLES	ROAD	PARK&TPZ		AREA	SHEET	
	1	40	44	754m	-	i	3.196ha	2	
	1b	40	42	333m	-	-	2.108ha	4	
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	Balance	2	158	155m	-	-	23.59ha	1	
	TOTAL	680	1093	8666m	5.139ha	3.404ha	Total Area 77.83ha		



18 Little Cribb Street Milton QLD 4064

t (07) 3842 1000 f (07) 3842 1001 PO Box 1399 e info@landpartners.com.au

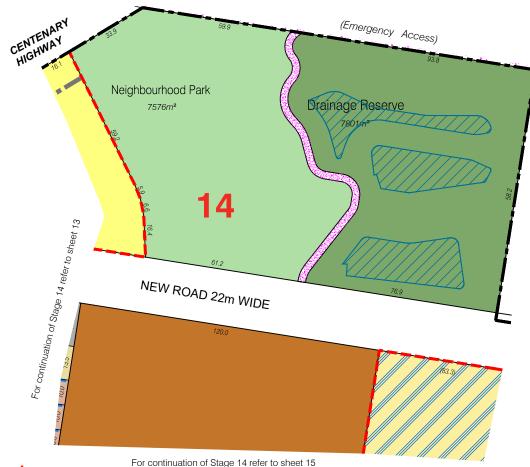
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LAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF RESOURCES

NOTE: ALL D	IMENSIONS AND AREAS ON THIS
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	Stage Boundary
	Primary Frontage (identified on corner & selected Terrace lots only) Built to Boundary Wall
	Access Easement
	Proposed Stairs Location
	Road Reserve
	Display Home Lots
7,7,7,7,7,	Housing Development Exclusion Area
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BUSHFIRE (obt	ained from MPN Consulting)
	BAL 40 Setback
	BAL 29 Setback
***********	Managed Bushfire Buffer
	BAL 19 Setback
	BAL 12.5 Setback
FLOOD INFOR	MATION (obtained from MPN Consulting)
	Q100
	Q20
ACOUSTIC INFO	ORMATION (obtained from Acoustic Works)
*	Lots affected by Acoustic Report See Note 31 on Plan of Development

Site Development Table		Row Lots		Terrace Lots 7.5m-9.9m		Villa Lots 10m-12.4m		(1) 12.5m-14.9m		Courtyard Lots (2) 15m-19.9m		Duplex	
	Ground	First	Ground	First	Ground	First	Ground	First	Ground	First	Ground	First	
Primary Frontage	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	
Rear	** 0.9	0.9	0.9	0.9	0.9	0.9	0.9	1	0.9	1	0.9	1	
Side - General Lots													
Built to Boundary	0	0	0	0	0	1	0	1	0	1	0	1	
Non-Built to Boundary		0	0	0	0.9	0.9	1	1	1	1.5	1	1.5	
Corner Lots - Secondary Frontage	** 1	1	1	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	
Laneway Lots													
Laneway Frontage	0	0	0	0	0	0	0	0	0	0	0	0	
Garage (from Laneway Boundary)	0.25	0.25	0.25	0.25	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5	

4.9 metres to garage or carport door.



Pursuant to the *Economic* Development Act 2012, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 21/2013/PDA

Date: 22 November 2023

General:

- 1. All development is to be undertaken generally in accordance with the Development Approval.
- The notes contained within this Plan of Development apply also to the display home lots.
- The Display Homes and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
- The Ancillary Car Park and all associated impro ved, and the site fully re
- 5. The maximum height of building on all lots must not exceed 2 storeys and 9m.

Orientation

- Front doors of dwellings are generally to address the Primary Street Frontage identified on the Plan of Development. Except for:
- (a) Lots 10 metres wide or less where the front entry (including side entrances) to all dwellings must be clearly defined, with elements such as a direct path and separate covered area at the front door. All dwellings should have a habitable room with windows facing onto the street to improve passive
- 7. If a duplex corner lot then the units should address each frontage (except on a laneway frontage). 8. Primary street frontage must contain pedestrian access and mail boxes with the appropriate street numbers.
- 9. For the Lots 91, 463, 470, 502, 503 & 524 the frontage facing the internal 32m wide "Ripley Loop road" must be activated by the use of two or more of the following:
 - (a) Verandahs/ porches; (b) Awnings and shade structures; (c) Variation to roof and building lines; (d) Inclusion of window openings; & (e) Use of varying building materials

Setbacks:

- 10. Setbacks are as per the Site Development Table unless otherwise specified.
- 11. Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Plan of Development for each stage. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
- 12. Built to boundary walls on lots greater than 10m wide are to have a maximum length of 15m and a
- 13. Buildings on lots less than 10m wide may be built to more than one boundary only where indicated on the plan of development
 - (a) Built to boundary walls where indicated on the plan of development are mandatory for row and
- 14. Boundary setbacks are measured to the wall of the structure.
- 15. Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2100mm

- 16. Minimum off-street parking requirements
- (a) One (1) and two (2) bedroom dwellings require a minimum one (1) covered space per dwelling; and (b) Three (3) or more bedroom dwellings require two (2) spaces per dwellings, one which must be capable
- of being covered (may be provided in tandem). 17. Lots less than 12.5m wide are to have a single width garage with a tandem parking space provided in front of the garage. However, double garages may be permitted where:
 - (a) A single storey dwelling is provided on a lot with a width of 10m or more and the garage is setback at least 800mm behind the face of the main dwelling; or
 - (b) A double storey dwelling is provided on a lot with a width less than 12.5 metres and a 1m upper storey or roof projection is provided over at least 50% of the garage opening width and both 17(c) and 17(d)
 - (c) All dwellings are to have a window or balcony from a habitable room overlooking the street.
- (d) The garage door width is to be a maximum of 6 metres or 50% of the width of the lot at the garage setback facade, whichever is the lesser.
- 18. Parking spaces on driveways do not have to comply with AS2890.
- All dwellings which are served off a Laneway must orientate their garages and carports to the Laneway--except for lots 11, 101-110, 804 & 813 which are to orientate garages and carports towards the primary frontage.

Site Cover and Amenity:

- 20. Site cover for each lot is not to exceed 65% of the lot. Except for lots under 10m wide and Duplex Lots which are not to exceed 75% of the lot.
- 21. Minimum private open space requirements:
 - (a) One (1) bedroom dwellings require a minimum 5m² with a minimum dimension of 1.2m;
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- 22. Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 m in height unless vegetated (hedges etc.).
- 23. Fencing for the boundaries of any lots that adjoin drainage reserve, open space or pedestrian pathways must not be constructed more than 1.5m in height with a solid component of 1.2m. The balance is to be at
- Fencing, which overlooks the 32m wide "Ripley Loop Road" (i.e. along the primary frontage of Lots 1-10, 28-35, 75-90, 427-429, 455-457, 467-469, 475-477, & 484-486 and secondary frontage of Lots 91, 463, 470, 502, 503, 524) must not be constructed more than 1.5m in height with a solid component of a maximum 1.2m. The balance is to be at least 50% permeable.

Duplex Lots:

- 25. 'Duplex' lots are not permitted to be developed for only a single dwelling.
- 26. The number of dwellings per 'Duplex' lot is 2 dwellings.
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Display Home Lots

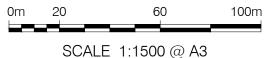
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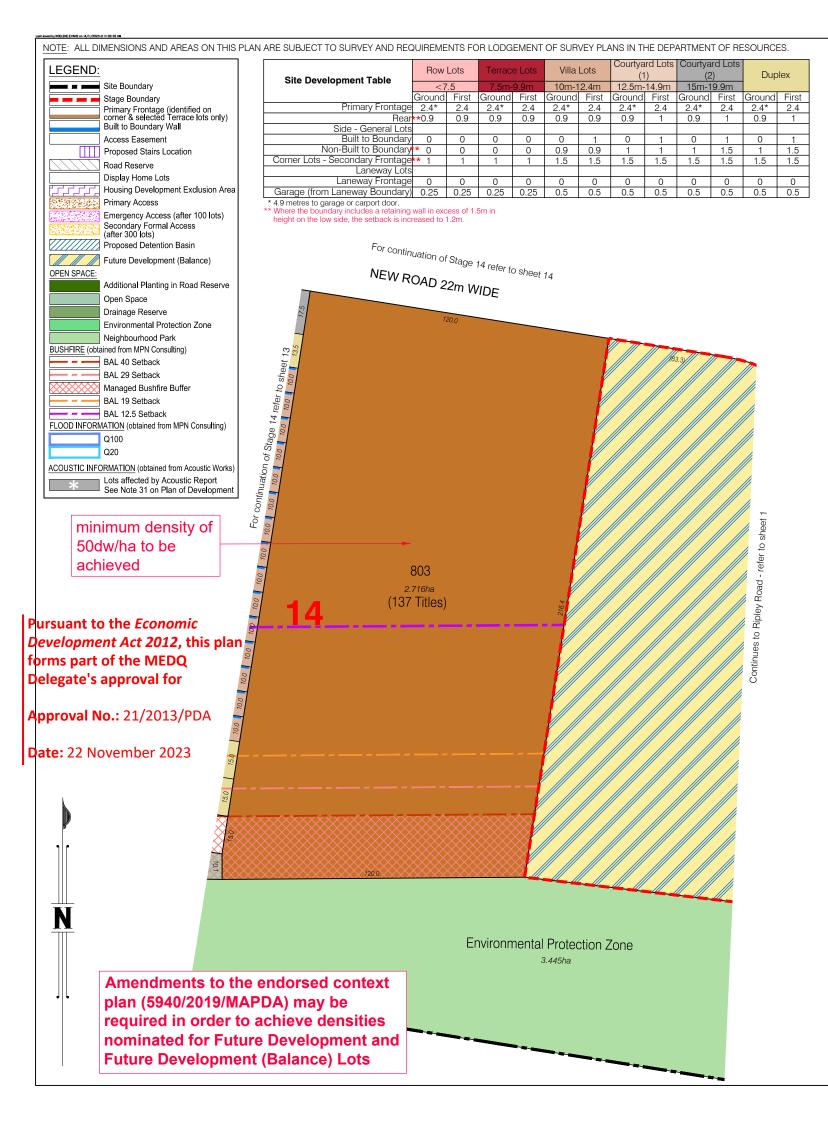
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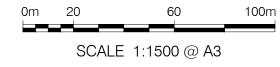
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asved by NOELENE EVANS on 14/11/2003 at 11:00:00 AM	
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Managed Bushfire Buffer	
BAL 19 Setback	
BAL 12.5 Setback	
FLOOD INFORMATION (obtained from MPN Consulting)	
Q100	
Q20	
ACOUSTIC INFORMATION (obtained from Acoustic Works)	
Lots affected by Acoustic Report See Note 31 on Plan of Development	

Site Development Table	Row Lots		Terrace Lots 7.5m-9.9m		Villa Lots 10m-12.4m		Courtyard Lots (1) 12.5m-14.9m		Courtyard Lots (2) 15m-19.9m		Dup	lex
	Ground	First	Ground	First	Ground	First	Ground	First	Ground	First	Ground	First
Primary Frontage	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4
Rear	** 0.9	0.9	0.9	0.9	0.9	0.9	0.9	1	0.9	1	0.9	1
Side - General Lots												
Built to Boundary	0	0	0	0	0	1	0	1	0	1	0	1
Non-Built to Boundary	* 0	0	0	0	0.9	0.9	1	1	1	1.5	1	1.5
Corner Lots - Secondary Frontage	** 1	1	1	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Laneway Lots												
Laneway Frontage	0	0	0	0	0	0	0	0	0	0	0	0
Garage (from Laneway Boundary)	0.25	0.25	0.25	0.25	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5
* 4.9 metres to garage or carport door.												

CENTENARY HIGHWAY Community Facilities 4868m² NEW ROAD 22m WIDE

Pursuant to the *Economic* Development Act 2012, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 21/2013/PDA

Date: 22 November 2023

General:

- 1. All development is to be undertaken generally in accordance with the Development Approval.
- The notes contained within this Plan of Development apply also to the display home lots.
- The Display Homes and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
- The Ancillary Car Park and all associated impo
- 5. The maximum height of building on all lots must not exceed 2 storeys and 9m.

Orientation

- Front doors of dwellings are generally to address the Primary Street Frontage identified on the Plan of Development. Except for:
- (a) Lots 10 metres wide or less where the front entry (including side entrances) to all dwellings must be clearly defined, with elements such as a direct path and separate covered area at the front door. All dwellings should have a habitable room with windows facing onto the street to improve passive
- 7. If a duplex corner lot then the units should address each frontage (except on a laneway frontage). 8. Primary street frontage must contain pedestrian access and mail boxes with the appropriate street
- 9. For the Lots 91, 463, 470, 502, 503 & 524 the frontage facing the internal 32m wide "Ripley Loop road" must be activated by the use of two or more of the following:

(a) Verandahs/ porches; (b) Awnings and shade structures; (c) Variation to roof and building lines; (d) Inclusion of window openings; & (e) Use of varying building materials

Setbacks:

- 10. Setbacks are as per the Site Development Table unless otherwise specified.
- 11. Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Plan of Development for each stage. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
- 12. Built to boundary walls on lots greater than 10m wide are to have a maximum length of 15m and a
- 13. Buildings on lots less than 10m wide may be built to more than one boundary only where indicated on the
 - (a) Built to boundary walls where indicated on the plan of development are mandatory for row and
- 14. Boundary setbacks are measured to the wall of the structure.

of being covered (may be provided in tandem).

15. Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2100mm

- 16. Minimum off-street parking requirements
- (a) One (1) and two (2) bedroom dwellings require a minimum one (1) covered space per dwelling; and (b) Three (3) or more bedroom dwellings require two (2) spaces per dwellings, one which must be capable
- 17. Lots less than 12.5m wide are to have a single width garage with a tandem parking space provided in front of the garage. However, double garages may be permitted where:
 - (a) A single storey dwelling is provided on a lot with a width of 10m or more and the garage is setback at least 800mm behind the face of the main dwelling; or
 - (b) A double storey dwelling is provided on a lot with a width less than 12.5 metres and a 1m upper storey or roof projection is provided over at least 50% of the garage opening width and both 17(c) and 17(d)
 - (c) All dwellings are to have a window or balcony from a habitable room overlooking the street.
- (d) The garage door width is to be a maximum of 6 metres or 50% of the width of the lot at the garage setback facade, whichever is the lesser.
- 18. Parking spaces on driveways do not have to comply with AS2890.
- All dwellings which are served off a Laneway must orientate their garages and carports to the Laneway--except for lots 11, 101-110, 804 & 813 which are to orientate garages and carports towards the primary frontage.

Site Cover and Amenity:

- 20. Site cover for each lot is not to exceed 65% of the lot. Except for lots under 10m wide and Duplex Lots which are not to exceed 75% of the lot.
- 21. Minimum private open space requirements:
 - (a) One (1) bedroom dwellings require a minimum 5m² with a minimum dimension of 1.2m;
 - (b) Two (2) bedroom dwellings require a minimum 9m² with a minimum dimension of 2.4m;
 - (c) Three (3) bedroom dwellings require a minimum 12m² with a minimum dimension of 2.4m

Fencing:

- 22. Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 m in height unless vegetated (hedges etc.).
- 23. Fencing for the boundaries of any lots that adjoin drainage reserve, open space or pedestrian pathways must not be constructed more than 1.5m in height with a solid component of 1.2m. The balance is to be at
- Fencing, which overlooks the 32m wide "Ripley Loop Road" (i.e. along the primary frontage of Lots 1-10, 28-35, 75-90, 427-429, 455-457, 467-469, 475-477, & 484-486 and secondary frontage of Lots 91, 463, 470, 502, 503, 524) must not be constructed more than 1.5m in height with a solid component of a maximum

Duplex Lots:

- 25. 'Duplex' lots are not permitted to be developed for only a single dwelling.
- 26. The number of dwellings per 'Duplex' lot is 2 dwellings.
- $27. \ \ \text{All duplex applications require compliance assessment against the approved Plan of Development and }$
 - (a) Multiple residential lots must comply with PDA Guideline 7: Low Rise Buildings, the checklist included within PDA Guideline No. 1: Residential 30 and conditions of approval

Display Home Lots

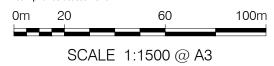
28. Carparking for development on the display home lots will be contained within the lots they are constructed on unless complying with Note 1 above.

High Density Development Easements

29. High density development easements may apply for all small lots in accordance with the Land Title Act 1994.

Building Location Envelope

- 30. Future development of single residential lots (including house construction, landscape and maintenance) to comply with the approved Bushfire Management Plan.
- 31. Any Buildings must be constructed in accordance with Section 8 of Acoustic Works, Acoustic Report dated the 13th November 2023. Lots identified in the Report have been marked with an asterisk
- 32. Terrace Lots, Row Lots, Dual Occupancies/Duplex and Multiple Residential (3 unit) Lots are subject to compliance assessmen





SEKISUI HOUSE

PROJECT

PLAN OF DEVELOPMENT LOTS 1 & 2 ON SP326583 (RIPLEY)

LOCAL ALITHORITY ECONOMIC DEVELOPMENT QUEENSLAND

(i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to ECONOMIC DEVELOPMENT QUEENSLAND for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Pty Ltd accepts no responsibility for any loss or damage

suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or

- (iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natural requirements for lodgement on Resources, Mines and Energy.
- (iv) This plan may not be copied unless these notes are included.

STAGE No. OF		NEW	OPENSPACE	DRNG	TOTAL	REFER TO	
	LOTS	TITLES	ROAD	PARK&TPZ		AREA	SHEET
1	40	44	754m	-	-	3.196ha	2
1b	40	42	333m	-	-	2.108ha	4
2a	7	7	161m	-	-	1.078ha	4
2b	37	43	292m	-	0.443	2.088ha	5
3	10	10	268m	-	-	1.020ha	2
4	16	16	184m	-	-	0.446ha	2
5	8	8	-	-	-	0.166ha	5
6	29	37	322m	-	-	3.587ha	6
7	12	12	26m	-	-	0.278ha	3
8	14	15	73m	-	-	0.720ha	7
8a	-	-	123m	-	1.491ha	1.893ha	8
9	49	52	660m	-	-	2.776ha	8
10	72	79	1250m	-	0.195ha	4.957ha	9
11	41	46	620m	0.5ha	0.325ha	3.25ha	10
11a	1	60	125m	-	0.169ha	1.262ha	10
12	25	29	60m	-	-	1.123ha	9
13	9	10	-	-	-	0.325ha	11
14	63	206	1235m	4.639ha	0.780ha	12.940ha	12,13,14
15	19	19	140m	-	-	1.053ha	15
16	50	53	585m	-	-	2.889ha	16
17	18	18	130m	-	-	0.577ha	17
18	51	56	460m	-	-	2.760ha	18
19	67	73	700m	-	-	3.734ha	19
Balance	2	158	155m	-	-	23.59ha	1
TOTAL	680	1093	8666m	5.139ha	3.404ha	Total Area 77.83ha	·
	1 1b 2a 2b 3 4 5 6 7 8 8a 9 10 11 11a 12 13 14 15 16 17 18 19 Balance	LOTS 1	LOTS TITLES 1	LOTS TITLES ROAD 1 40 44 754m 1b 40 42 333m 2a 7 7 161m 2b 37 43 292m 3 10 10 268m 4 16 16 184m 5 8 8 - 6 29 37 322m 7 12 12 26m 8 14 15 73m 8a - - 123m 9 49 52 660m 10 72 79 1250m 11 41 46 620m 11a 1 60 125m 12 25 29 60m 13 9 10 - 14 63 206 1235m 15 19 19 140m 16 50 <t< td=""><td>IOTS TITLES ROAD PARK&TPZ 1 40 44 754m - 1b 40 42 333m - 2a 7 7 161m - 2b 37 43 292m - 3 10 10 268m - 4 16 16 184m - 5 8 8 - - 6 29 37 322m - 7 12 12 26m - 8 14 15 73m - 8a - - 123m - 9 49 52 660m - 10 72 79 1250m - 11 41 46 620m 0.5ha 11a 1 60 125m - 12 25 29 60m - 14</td></t<> <td> TITLES</td> <td> No. No.</td>	IOTS TITLES ROAD PARK&TPZ 1 40 44 754m - 1b 40 42 333m - 2a 7 7 161m - 2b 37 43 292m - 3 10 10 268m - 4 16 16 184m - 5 8 8 - - 6 29 37 322m - 7 12 12 26m - 8 14 15 73m - 8a - - 123m - 9 49 52 660m - 10 72 79 1250m - 11 41 46 620m 0.5ha 11a 1 60 125m - 12 25 29 60m - 14	TITLES	No. No.



Brisbane Office

18 Little Cribb Street t (07) 3842 1000 Milton QLD 4064 f (07) 3842 1001 PO Box 1399 e info@landpartners.com.au

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Milton QLD 4064 www.land	dpartners.com.au	J FS 535063
EVEL DATUM	-	
EVEL ORIGIN	-	
CONTOUR INTERVAL	-	
COMPUTER FILE	BRSS3649	-RL3-93-20
DRAWN TKW/NME	DATE	13/11/2023
CHECKED NME/TKW	DATE	13/11/2023
APPROVED SRS	DATE	13/11/2023
IDNI		SHEET 15 OF 19

LAN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF RESOURCES

NOTE: ALL DIMENSIONS AND AREAS ON T	THIS PI
LEGEND:	
Site Boundary	
Stage Boundary	
Primary Frontage (identified on corner & selected Terrace lots on Built to Boundary Wall	ly)
Access Easement	
Proposed Stairs Location	
Road Reserve	
Display Home Lots	
Housing Development Exclusion	Area
Primary Access	
Emergency Access (after 100 lots Secondary Formal Access (after 300 lots)	ş)
Proposed Detention Basin	
Future Development (Balance)	
OPEN SPACE:	
Additional Planting in Road Reser	rve
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Environmental Protection Zone	
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BUSHFIRE (obtained from MPN Consulting)	
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Site Development Table	Row Lots Terrace L			Villa Lots 10m-12.4m		Courtyard Lots (1) 12.5m-14.9m		Courtyard Lots (2) 15m-19.9m		Duplex		
	Ground	First	Ground	First	Ground	First	Ground	First	Ground	First	Ground	First
Primary Frontage	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4
Rear	** 0.9	0.9	0.9	0.9	0.9	0.9	0.9	1	0.9	1	0.9	1
Side - General Lots												
Built to Boundary		0	0	0	0	1	0	1	0	1	0	1
Non-Built to Boundary		0	0	0	0.9	0.9	1	1	1	1.5	1	1.5
Corner Lots - Secondary Frontage	** 1	1	1	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
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Laneway Frontage	0	0	0	0	0	0	0	0	0	0	0	0
Garage (from Laneway Boundary)	0.25	0.25	0.25	0.25	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5

4.9 metres to garage or carport door.

CENTENARY HIGHWAY ROAD RESERVE 是以 100年至1016年38 78年1016年1016年1016年1016年 1372m 588 660m² 637 611 455m2 530m² 610 589 400m ³⁷⁵m² 636 612 385m² 590 320m 635 ³⁷⁵m² 609 613 591 300m² 634 320m 300m² 608 WIDE 614 300m² 633 592 320m WIDE ^{300m²} 607 615 310m 5m 593 320m 632 ^{300m²} 616 ROAD 594 320m 300m² 605 00m² 631 ROAD 617 595 320m ³⁰⁰m² 630 300m² 604 618 310m 596 300m² 629 320m² NEW 300m² 603 619 310m2 597 300m² 628 320m 300m² 602 620 598 400m² 300m² 627 300m² 601 621 385m 300m² 626 600 599 685,77 D 625 622 605m2 NEW ROAD 15m WIDE n² 624

Pursuant to the *Economic* Development Act 2012, this plan forms part of the MEDQ **Delegate's approval for**

Approval No.: 21/2013/PDA

Date: 22 November 2023

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Fencing:

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Duplex Lots:

- 25. 'Duplex' lots are not permitted to be developed for only a single dwelling.
- 26. The number of dwellings per 'Duplex' lot is 2 dwellings.
- $27. \ \ \text{All duplex applications require compliance assessment against the approved Plan of Development and }$ (a) Multiple residential lots must comply with PDA Guideline 7: Low Rise Buildings, the
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Display Home Lots

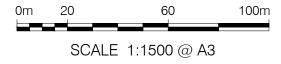
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Building Location Envelope

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SEKISUI HOUSE

PROJECT

PLAN OF DEVELOPMENT LOTS 1 & 2 ON SP326583 (RIPLEY)

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suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or

- (iii) The dimensions, areas, number of lots, size and location of improvements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natural requirements for lodgement on Resources, Mines and Energy.
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	STAGE	TAGE No. OF		NEW	OPENSPACE	DRNG	TOTAL	REFER TO
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	13	9	10	-	-	-	0.325ha	11
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	17	18	18	130m	-	-	0.577ha	17
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	19	67	73	700m	-	-	3.734ha	19
	Balance	2	158	155m	-	-	23.59ha	1
	TOTAL	680	1093	8666m	5.139ha	3.404ha	Total Area 77.83ha	



Brisbane Office

18 Little Cribb Street t (07) 3842 1000 Milton QLD 4064

PO Box 1399 Milton QLD 4064		lpartners.com.au partners.com.au		01:2008 35063
EVEL DATUM		-		
LEVEL ORIGIN		-		
CONTOUR INTERV	'AL	-		
COMPUTER FILE		BRSS3649	-RL3-93-20	
DRAWN TKW/N	IME	DATE	13/11/2023	
CHECKED NME/T	TKW	DATE	13/11/2023	
APPROVED SRS	S	DATE	13/11/2023	
IDNI			SHEET 16.0)F 10

cludes a retaining wall in excess of 1.5m in height on the low side, the setback is increased to 1.2m

AN ARE SUBJECT TO SURVEY AND REQUIREMENTS FOR LODGEMENT OF SURVEY PLANS IN THE DEPARTMENT OF RESOURCES.

Į	NOTE: ALL D	MENSIONS AND AREAS ON THIS	PLA
	LEGEND:		
		Site Boundary	
		Stage Boundary	
		Primary Frontage (identified on corner & selected Terrace lots only)	
		Built to Boundary Wall	
		Access Easement	
		Proposed Stairs Location	
		Road Reserve	
		Display Home Lots	
	77777	Housing Development Exclusion Area	
		Primary Access	
	A14-76-55	Emergency Access (after 100 lots)	
		Secondary Formal Access (after 300 lots)	
		Proposed Detention Basin	
		Future Development (Balance)	
	OPEN SPACE:	Tataro Bovolopmont (Balanco)	
	OI EIT OI MOE.	Additional Planting in Road Reserve	
		Open Space	
		Drainage Reserve	
		Environmental Protection Zone	
		Neighbourhood Park	
	BUSHFIRE (obt	ained from MPN Consulting)	
		BAL 40 Setback	
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	FLOOD INFORM	MATION (obtained from MPN Consulting)	
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Site Development Table	Row Lots		Terrace Lots 7.5m-9.9m		Villa Lots 10m-12.4m		Courtyard Lots (1) 12.5m-14.9m		Courtyard Lots (2) 15m-19.9m		Duplex	
	Ground	First	Ground	First	Ground	First	Ground	First	Ground	First	Ground	First
Primary Frontage	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4
Rear	** 0.9	0.9	0.9	0.9	0.9	0.9	0.9	1	0.9	1	0.9	1
Side - General Lots												
Built to Boundary	0	0	0	0	0	1	0	1	0	1	0	1
Non-Built to Boundary	** 0	0	0	0	0.9	0.9	1	1	1	1.5	1	1.5
Corner Lots - Secondary Frontage	** 1	1	1	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
Laneway Lots												
Laneway Frontage	0	0	0	0	0	0	0	0	0	0	0	0
Garage (from Laneway Boundary)	0.25	0.25	0.25	0.25	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5

4.9 metres to garage or carport door.

CENTENARY HIGHWAY ROAD RESERVE 1372m

Pursuant to the *Economic* Development Act 2012, this plan forms part of the MEDQ Delegate's approval for

Approval No.: 21/2013/PDA

Date: 22 November 2023

General:

- 1. All development is to be undertaken generally in accordance with the Development Approval.
- The notes contained within this Plan of Development apply also to the display home lots.
- The Display Homes and Ancillary Car Park will operate only until the last residential lot in the estate is sold.
- The Ancillary Car Park and all associated impo
- 5. The maximum height of building on all lots must not exceed 2 storeys and 9m.

Orientation:

- Front doors of dwellings are generally to address the Primary Street Frontage identified on the Plan of Development. Except for:
- (a) Lots 10 metres wide or less where the front entry (including side entrances) to all dwellings must be clearly defined, with elements such as a direct path and separate covered area at the front door. All dwellings should have a habitable room with windows facing onto the street to improve passive
- 7. If a duplex corner lot then the units should address each frontage (except on a laneway frontage). 8. Primary street frontage must contain pedestrian access and mail boxes with the appropriate street
- For the Lots 91, 463, 470, 502, 503 & 524 the frontage facing the internal 32m wide "Ripley Loop road" must be activated by the use of two or more of the following:
 - (a) Verandahs/ porches; (b) Awnings and shade structures; (c) Variation to roof and building lines; (d) Inclusion of window openings; & (e) Use of varying building materials

Setbacks:

- 10. Setbacks are as per the Site Development Table unless otherwise specified.
- 11. Built to boundary walls are typical where shown. The location of built to boundary walls are indicated on the Plan of Development for each stage. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Development Table.
- 12. Built to boundary walls on lots greater than 10m wide are to have a maximum length of 15m and a
- 13. Buildings on lots less than 10m wide may be built to more than one boundary only where indicated on the
 - (a) Built to boundary walls where indicated on the plan of development are mandatory for row and
- 14. Boundary setbacks are measured to the wall of the structure.

of being covered (may be provided in tandem).

15. Eaves should not encroach (other than where building are built to boundary) closer than 300mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2100mm.

- 16. Minimum off-street parking requirements
- (a) One (1) and two (2) bedroom dwellings require a minimum one (1) covered space per dwelling; and (b) Three (3) or more bedroom dwellings require two (2) spaces per dwellings, one which must be capable
- 17. Lots less than 12.5m wide are to have a single width garage with a tandem parking space provided in front of the garage. However, double garages may be permitted where:
 - (a) A single storey dwelling is provided on a lot with a width of 10m or more and the garage is setback at least 800mm behind the face of the main dwelling; or
 - (b) A double storey dwelling is provided on a lot with a width less than 12.5 metres and a 1m upper storey or roof projection is provided over at least 50% of the garage opening width and both 17(c) and 17(d)
 - (c) All dwellings are to have a window or balcony from a habitable room overlooking the street.
- (d) The garage door width is to be a maximum of 6 metres or 50% of the width of the lot at the garage setback facade, whichever is the lesser.
- 18. Parking spaces on driveways do not have to comply with AS2890.
- All dwellings which are served off a Laneway must orientate their garages and carports to the Laneway--except for lots 11, 101-110, 804 & 813 which are to orientate garages and carports towards the primary frontage.

Site Cover and Amenity:

- 20. Site cover for each lot is not to exceed 65% of the lot. Except for lots under 10m wide and Duplex Lots which are not to exceed 75% of the lot.
- 21. Minimum private open space requirements:
 - (a) One (1) bedroom dwellings require a minimum 5m² with a minimum dimension of 1.2m;
 - (b) Two (2) bedroom dwellings require a minimum 9m² with a minimum dimension of 2.4m;
 - (c) Three (3) bedroom dwellings require a minimum 12m² with a minimum dimension of 2.4m

Fencing:

- 22. Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2 m in height unless vegetated (hedges etc.).
- 23. Fencing for the boundaries of any lots that adjoin drainage reserve, open space or pedestrian pathways must not be constructed more than 1.5m in height with a solid component of 1.2m. The balance is to be at
- Fencing, which overlooks the 32m wide "Ripley Loop Road" (i.e. along the primary frontage of Lots 1-10, 28-35, 75-90, 427-429, 455-457, 467-469, 475-477, & 484-486 and secondary frontage of Lots 91, 463, 470, 502, 503, 524) must not be constructed more than 1.5m in height with a solid component of a maximum

Duplex Lots:

- 25. 'Duplex' lots are not permitted to be developed for only a single dwelling.
- 26. The number of dwellings per 'Duplex' lot is 2 dwellings.
- 27. All duplex applications require compliance assessment against the approved Plan of Development and (a) Multiple residential lots must comply with PDA Guideline 7: Low Rise Buildings, the
 - checklist included within PDA Guideline No. 1: Residential 30 and conditions of approval

Display Home Lots

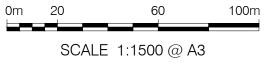
28. Carparking for development on the display home lots will be contained within the lots they are constructed on unless complying with Note 1 above.

High Density Development Easements

29. High density development easements may apply for all small lots in accordance with the Land Title Act 1994.

Building Location Envelope

- 30. Future development of single residential lots (including house construction, landscape and maintenance) to comply with the approved Bushfire Management Plan.
- 31. Any Buildings must be constructed in accordance with Section 8 of Acoustic Works, Acoustic Report dated the 13th November 2023. Lots identified in the Report have been marked with an asterisk
- 32. Terrace Lots, Row Lots, Dual Occupancies/Duplex and Multiple Residential (3 unit) Lots are subject to compliance assessmen





CLIENT **SEKISUI HOUSE**

PROJECT

PLAN OF DEVELOPMENT LOTS 1 & 2 ON SP326583 (RIPLEY)

LOCAL ALITHORITY ECONOMIC DEVELOPMENT QUEENSLAND

(i) This plan was prepared for the purpose and exclusive use of SEKISUI HOUSE to accompany an application to ECONOMIC DEVELOPMENT QUEENSLAND for approval to reconfigure the land described in this plan and is not to be used for any other purpose or by any other person or corporation. LandPartners Pty Ltd accepts no responsibility for any loss or damage

suffered howsoever arising to any person or corporation who may use or rely on this plan in contravention of the terms of this clause or

- (iii) The dimensions, areas, number of lots, size and location of mprovements & flood information (if shown) are approximate only and may vary subject to engineering design changes, field survey and requirements for lodgement of survey plans in the Department of Natural Recourses, Mines and Engray. requirements for lodgement of Resources, Mines and Energy.
- (iv) This plan may not be copied unless these notes are included.

STAGE			NEW		DRNG	TOTAL	REFER TO		
			ROAD	PARK&TPZ		AREA	SHEET		
1	40	44	754m	-	-	3.196ha	2		
1b	40	42	333m	-	-	2.108ha	4		
2a	7	7	161m		-	1.078ha	4		
2b	37	43	292m		0.443	2.088ha	5		
3	10	10	268m		-	1.020ha	2		
4	16	16	184m	-	-	0.446ha	2		
5	8	8	-	-	-	0.166ha	5		
6	29	37	322m	-	-	3.587ha	6		
7	12	12	26m	-	-	0.278ha	3		
8	14	15	73m	-	-	0.720ha	7		
8a	-	-	123m	-	1.491ha	1.893ha	8		
9	49	52	660m	-	-	2.776ha	8		
10	72	79	1250m	-	0.195ha	4.957ha	9		
11	41	46	620m	0.5ha	0.325ha	3.25ha	10		
11a	1	60	125m	-	0.169ha	1.262ha	10		
12	25	29	60m	-	-	1.123ha	9		
13	9	10	-	-	-	0.325ha	11		
14	63	206	1235m	4.639ha	0.780ha	12.940ha	12,13,14		
15	19	19	140m	-	-	1.053ha	15		
16	50	53	585m	-	-	2.889ha	16		
17	18	18	130m	-	-	0.577ha	17		
18	51	56	460m	-	-	2.760ha	18		
19	67	73	700m	-	-	3.734ha	19		
Balance	2	158	155m	-	-	23.59ha	1		
TOTAL	680	1093	8666m	5.139ha	3.404ha	Total Area 77.83ha	·		
	1 1b 2a 2b 3 4 5 6 7 8 8a 9 10 11 11a 12 13 14 15 16 17 18 19 Balance	LOTS 1	LOTS TITLES 1	LOTS TITLES ROAD 1	COTS TITLES ROAD PARK&TPZ	Total Fittles	No. Core Titles ROAD PARK&TPZ AREA		



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Milton QLD 4064 W v	www.landpartners.com.au	FS 535063
EVEL DATUM	-	
EVEL ORIGIN	-	
CONTOUR INTERVAL	-	
OMPUTER FILE	BRSS3649-RL3-	-93-20
RAWN TKW/NME	DATE 13/1	1/2023
CHECKED NME/TKW	V DATE 13/1	1/2023
PPROVED SRS	DATE 13/1	1/2023
IDNI	CHI	ET 17 OF 10

ludes a retaining wall in excess of 1.5m in height on the low side, the setback is increased to 1.2m

NOTE: ALL DIMENSIONS AND AREAS ON THIS P
LEGEND:
Site Boundary
Stage Boundary
Primary Frontage (identified on corner & selected Terrace lots only) Built to Boundary Wall
Access Easement
Proposed Stairs Location
Road Reserve
Display Home Lots
Housing Development Exclusion Area
Primary Access
Emergency Access (after 100 lots) Secondary Formal Access (after 300 lots)
Proposed Detention Basin
Future Development (Balance)
OPEN SPACE:
Additional Planting in Road Reserve
Open Space
Drainage Reserve
Environmental Protection Zone
Neighbourhood Park
BUSHFIRE (obtained from MPN Consulting)
BAL 40 Setback
BAL 29 Setback
Managed Bushfire Buffer
BAL 19 Setback
BAL 12.5 Setback
FLOOD INFORMATION (obtained from MPN Consulting)
Q100
Q20
ACOUSTIC INFORMATION (obtained from Acoustic Works)
Lots affected by Acoustic Report See Note 31 on Plan of Development

Site Development Table	Row Lots		Terrace Lots			Villa Lots		Courtyard Lots (1)		(2)		lex	
•	< 7.5		7.5m-9.9m			10m-12.4m		12.5m-14.9m		15m-19.9m			
	Ground	First	Ground	First	Ground	First	Ground	First	Ground	First	Ground	First	
Primary Frontage	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	
Rear	** 0.9	0.9	0.9	0.9	0.9	0.9	0.9	1	0.9	1	0.9	1	
Side - General Lots													
Built to Boundary	0	0	0	0	0	1	0	1	0	1	0	1	
Non-Built to Boundary	** 0	0	0	0	0.9	0.9	1	1	1	1.5	1	1.5	
Corner Lots - Secondary Frontage	** 1	1	1	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	
Laneway Lots													
Laneway Frontage	0	0	0	0	0	0	0	0	0	0	0	0	
Garage (from Laneway Boundary)	0.25	0.25	0.25	0.25	0.5	0.5	0.5	0.5	0.5	0.5	0.5	0.5	

* 4.9 metres to garage or carport door.

CENTENARY HIGHWAY ROAD RESERVE NEW ROAD 22m WIDE 638 _{550m} 665_{445m} 664 639 _{450m²} 663 666 450m² 640 300m 662 667×300m2 ^{15m} WIDE 641 3000 661 685 642° 300m² 660 684 643° 300m 659 16. 683 ROAD 670 644 ROAD 300m² 658 682 671 645 NEW 300m 300m² 681 657 672 300m 646 300m² 656 300m 300m² 680 673 300m² 647 300m² 300m2 375m² 679 655 648 300m² 654 405m² 678 D 649 375m 675 375m² 653 677 650 676 509m² 652 651 42

Pursuant to the *Economic* Development Act 2012, this plan forms part of the MEDQ **Delegate's approval for**

Approval No.: 21/2013/PDA

Date: 22 November 2023

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 - checklist included within PDA Guideline No. 1: Residential 30 and conditions of approval

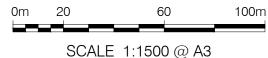
Display Home Lots

28. Carparking for development on the display home lots will be contained within the lots they are constructed on unless complying with Note 1 above. **High Density Development Easements**

29. High density development easements may apply for all small lots in accordance with the Land Title Act 1994.

Building Location Envelope

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SEKISUI HOUSE

PROJECT

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LOCAL ALITHORITY ECONOMIC DEVELOPMENT QUEENSLAND

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- (iv) This plan may not be copied unless these notes are included.

	STAGE	TAGE No. OF		NEW	OPENSPACE	DRNG	TOTAL	REFER TO
		LOTS	TITLES	ROAD	PARK&TPZ		AREA	SHEET
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	1b	40	42	333m	-	-	2.108ha	4
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	3	10	10	268m		1	1.020ha	2
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	5	8	8	-	-	-	0.166ha	5
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	11a	1	60	125m	-	0.169ha	1.262ha	10
	12	25	29	60m	-	-	1.123ha	9
	13	9	10	-	-	1	0.325ha	11
	14	63	206	1235m	4.639ha	0.780ha	12.940ha	12,13,14
	15	19	19	140m	-	ı	1.053ha	15
	16	50	53	585m	-	1	2.889ha	16
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	19	67	73	700m	-	-	3.734ha	19
	Balance	2	158	155m	-	-	23.59ha	1
	TOTAL	680	1093	8666m	5.139ha	3.404ha	Total Area 77.83ha	



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LEVEL DATUM	-	
LEVEL ORIGIN	-	
CONTOUR INTERVAL	-	
COMPUTER FILE	BRSS3649	-RL3-93-20
DRAWN TKW/NME	DATE	13/11/2023
CHECKED NME/TKW	DATE	13/11/2023
APPROVED SRS	DATE	13/11/2023
UDN BBGGGG	21.0.00	SHEET 18 OF 19

des a retaining wall in excess of 1.5m in height on the low side, the setback is increased to 1.2m