

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
 Finished surface levels shown as: ● 66.30

NOTE:
 This additional information is indicative only and has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

The dimensions and locations of proposed easements may vary and are subject to final Council approval.

DISCLOSURE PLAN FOR PROPOSED LOT 55

This plan shows:
 Details of Proposed Lot 55 on the Proposed Reconfiguration Plan ----- dated -----, which accompanied an application for a Development Permit ----- for reconfiguration of Lots -----, approved by Ipswich City Council on xx/xx/xxx (Council reference: -----).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Retaining Walls are shown as:

Area of Fill shown as:
 Fill ranges in depth from 0.8m to 2.8m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Design surface contours based on A.H.D. datum at an interval of 0.25m, shown as: 48.25

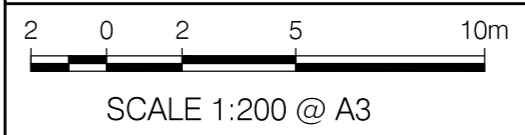
Depth of fill contours based on A.H.D. datum at an interval of 0.25m, shown as: 0.25

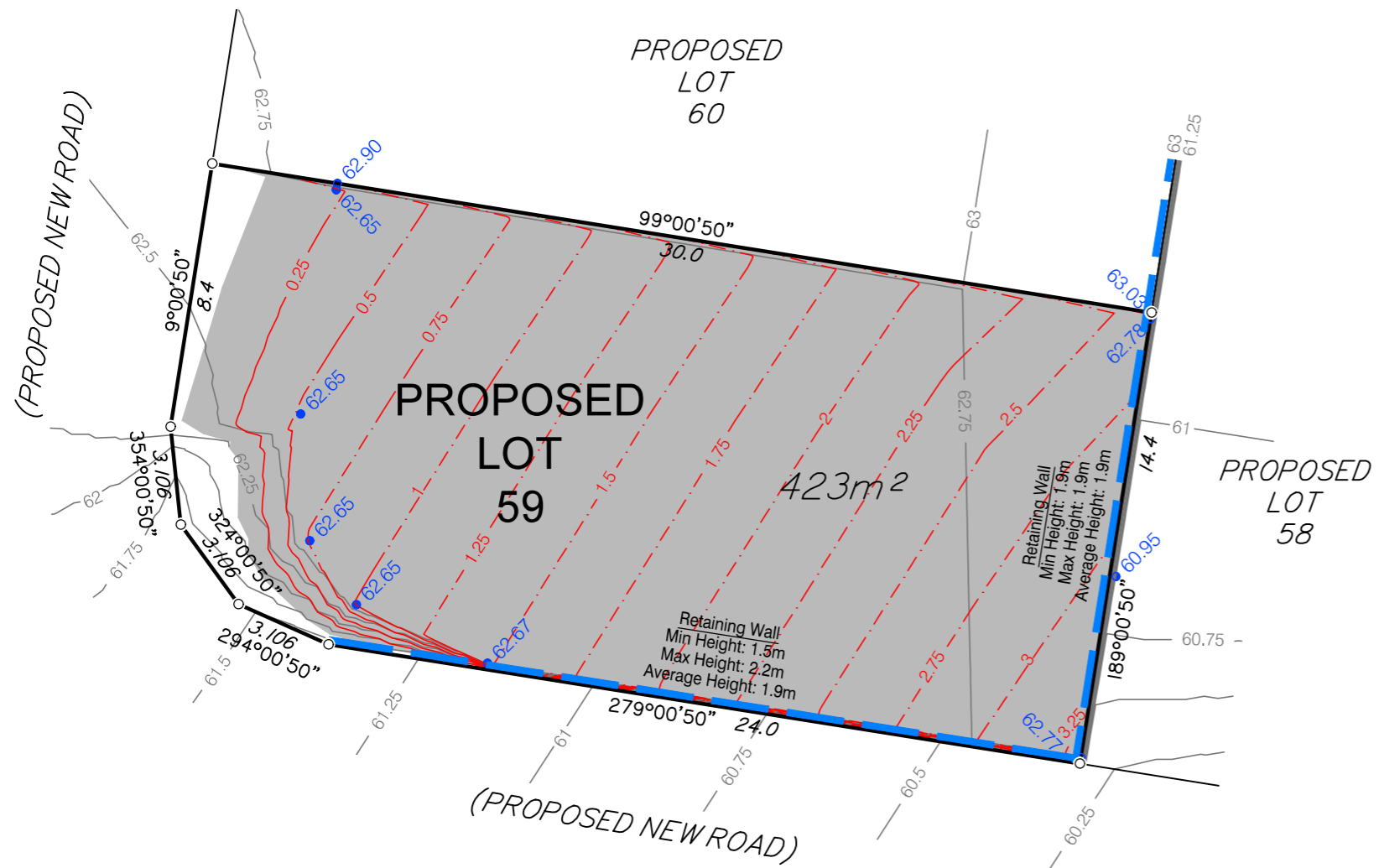
Areas and dimensions shown on this plan are subject to approval by Council and registration with the Department of Resources. Design surface contours and retaining wall heights shown hereon have been plotted from data supplied by Spiire on 28/07/2023. Fill areas, depth of fill contours and depth of fill values are from data supplied by Spiire on 28/07/2023.

Project: **AMORY**
 AT RIPLEY
 STAGE 1B

Client:
RIPLEY ESTATE DEVELOPMENT PTY LTD

 LANDPARTNERS surveyors and planners ISO 9001 Quality Management System CERTIFIED Occupational Health and Safety Management System CERTIFIED CERTIFIED LOCATOR www.landpartners.com.au	LEVEL DATUM	AHD
	LEVEL ORIGIN	PSM44691 RL 97.207
COMPUTER FILE	BRSS8354-01B-003-3	
SCALE	1:200 @ A3	
DRAWN	KDM	DATE 27/02/2024
CHECKED	MEA	DATE 27/02/2024
APPROVED	RGGA	DATE 27/02/2024
UDN	BRSS8354- 01B - 004 - 2	





DISCLOSURE PLAN FOR PROPOSED LOT 59

This plan shows:

Details of Proposed Lot 59 on the Proposed Reconfiguration Plan ----- dated -----, which accompanied an application for a Development Permit ----- for reconfiguration of Lots -----, approved by Ipswich City Council on xx/xx/xxx (Council reference: -----).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Retaining Walls are shown as:

Area of Fill shown as:

Fill ranges in depth from 0.0m to 3.3m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Design surface contours based on A.H.D. datum at an interval of 0.25m, shown as: 48.25

Depth of fill contours based on A.H.D. datum at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to approval by Council and registration with the Department of Resources. Design surface contours, fill areas, depth of fill contours, depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Spiire on 10/08/2023.

Project:



Client:

RIPLEY ESTATE DEVELOPMENT PTY LTD

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished surface levels shown as: ● 66.30

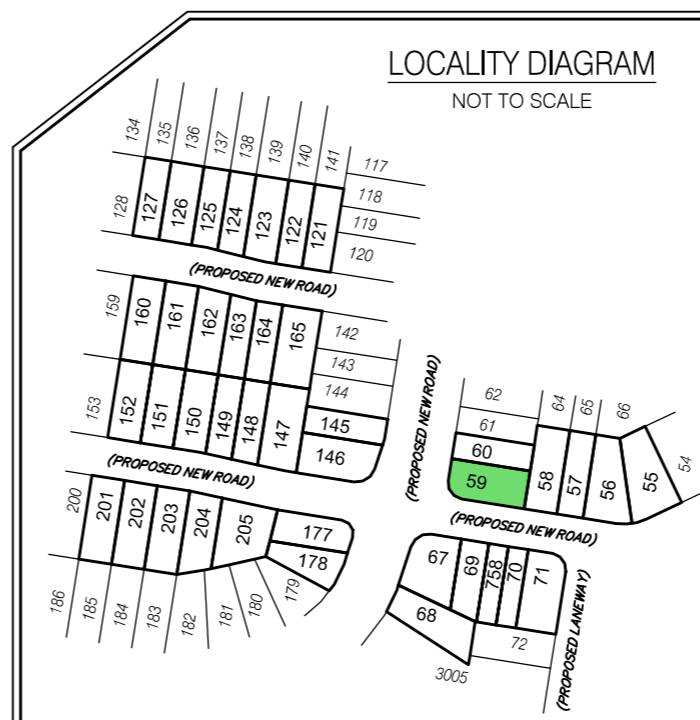
NOTE:

This additional information is indicative only and has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

The dimensions and locations of proposed easements may vary and are subject to final Council approval.

LOCALITY DIAGRAM

NOT TO SCALE



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LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM44691 RL 97.207		
COMPUTER FILE	BRSS8354-01A-003-1		
SCALE	1:250 @ A3		
DRAWN	MEA	DATE	23/08/2023
CHECKED	SHL	DATE	24/08/2023
APPROVED	RG	DATE	25/08/2023



SCALE 1:200 @ A3

UDN
BRSS8354- 01B - 008 - 1

DISCLOSURE PLAN FOR PROPOSED LOT 67

This plan shows:
 Details of Proposed Lot 67 on the Proposed Reconfiguration Plan ----- dated -----, which accompanied an application for a Development Permit ----- for reconfiguration of Lots -----, approved by Ipswich City Council on xx/xx/xxx (Council reference: -----).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Retaining Walls are shown as:

Area of Fill shown as:

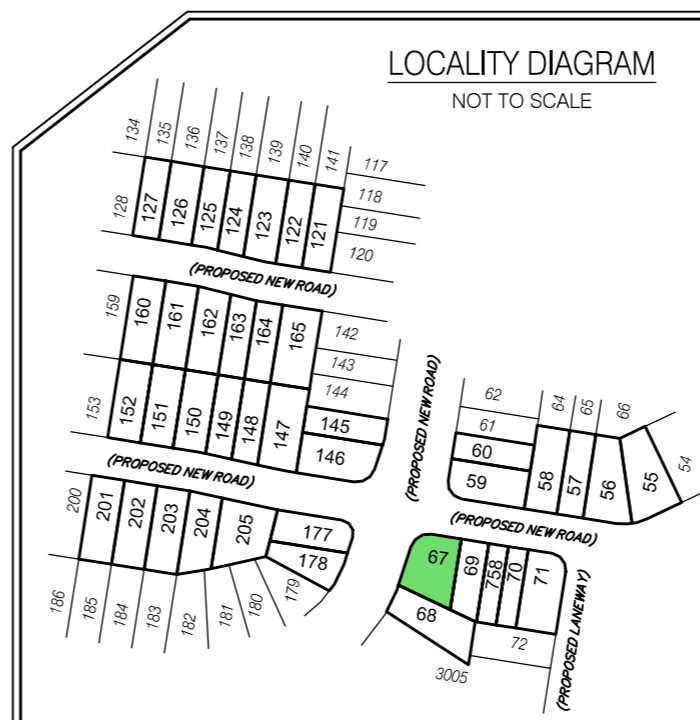
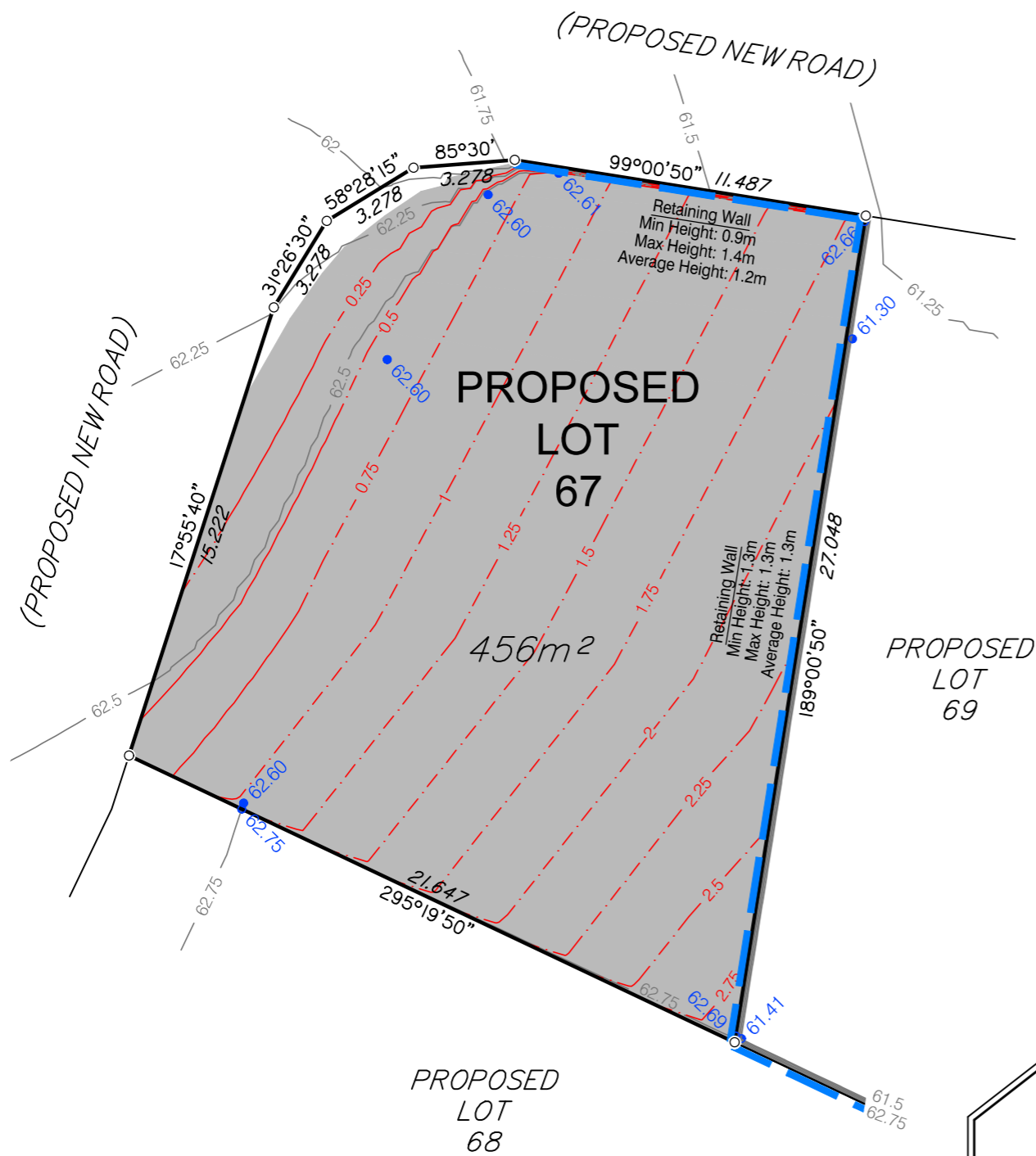
Fill ranges in depth from 0.0m to 3.0m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Design surface contours based on A.H.D. datum at an interval of 0.25m, shown as: — 48.25 —

Depth of fill contours based on A.H.D. datum at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to approval by Council and registration with the Department of Resources. Design surface contours, fill areas, depth of fill contours and depth of fill values shown hereon have been plotted from data supplied by Spiire on 10/08/2023. Retaining walls and heights shown hereon have been plotted from data supplied by Spiire on 28/08/2023.



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
 Finished surface levels shown as: ● 66.30

NOTE:
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The dimensions and locations of proposed easements may vary and are subject to final Council approval.

Project:  **AMORY**
 AT RIPLEY
 STAGE 1B

Client: **RIPLEY ESTATE DEVELOPMENT PTY LTD**



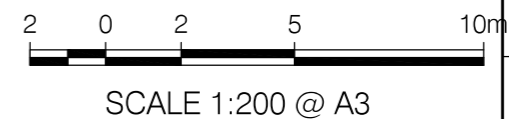
LANDPARTNERS
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LEVEL DATUM	AHD
LEVEL ORIGIN	PSM44691 RL 97.207
COMPUTER FILE	BRSS8354-01A-003-2
SCALE	1:250 @ A3
DRAWN	MEA DATE 28/08/2023
CHECKED	RGGA DATE 28/08/2023
APPROVED	RGGA DATE 28/08/2023



UDN
BRSS8354- 01B - 010 - 2

DISCLOSURE PLAN FOR PROPOSED LOT 69

This plan shows:
 Details of Proposed Lot 69 on the Proposed Reconfiguration Plan ----- dated -----, which accompanied an application for a Development Permit ----- for reconfiguration of Lots -----, approved by Ipswich City Council on xx/xx/xxx (Council reference: -----).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Retaining Walls are shown as:

Area of Fill shown as:

Fill ranges in depth from 0.4m to 4.0m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Design surface contours based on A.H.D. datum at an interval of 0.25m, shown as: — 48.25 —

Depth of fill contours based on A.H.D. datum at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to approval by Council and registration with the Department of Resources. Design surface contours, fill areas, depth of fill contours and depth of fill values shown hereon have been plotted from data supplied by Spiire on 10/08/2023. Retaining walls and heights shown hereon have been plotted from data supplied by Spiire on 28/08/2023.

Project:  **AMORY**
 AT RIPLEY
STAGE 1B

Client: **RIPLEY ESTATE DEVELOPMENT PTY LTD**



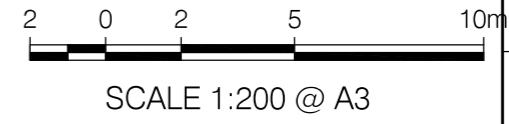
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 Milton Qld 4064
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 Milton Qld 4064

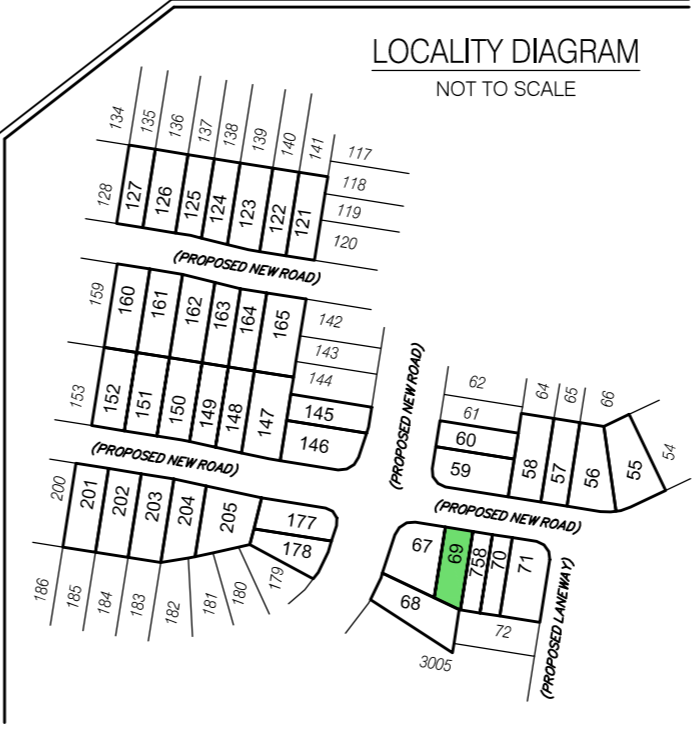
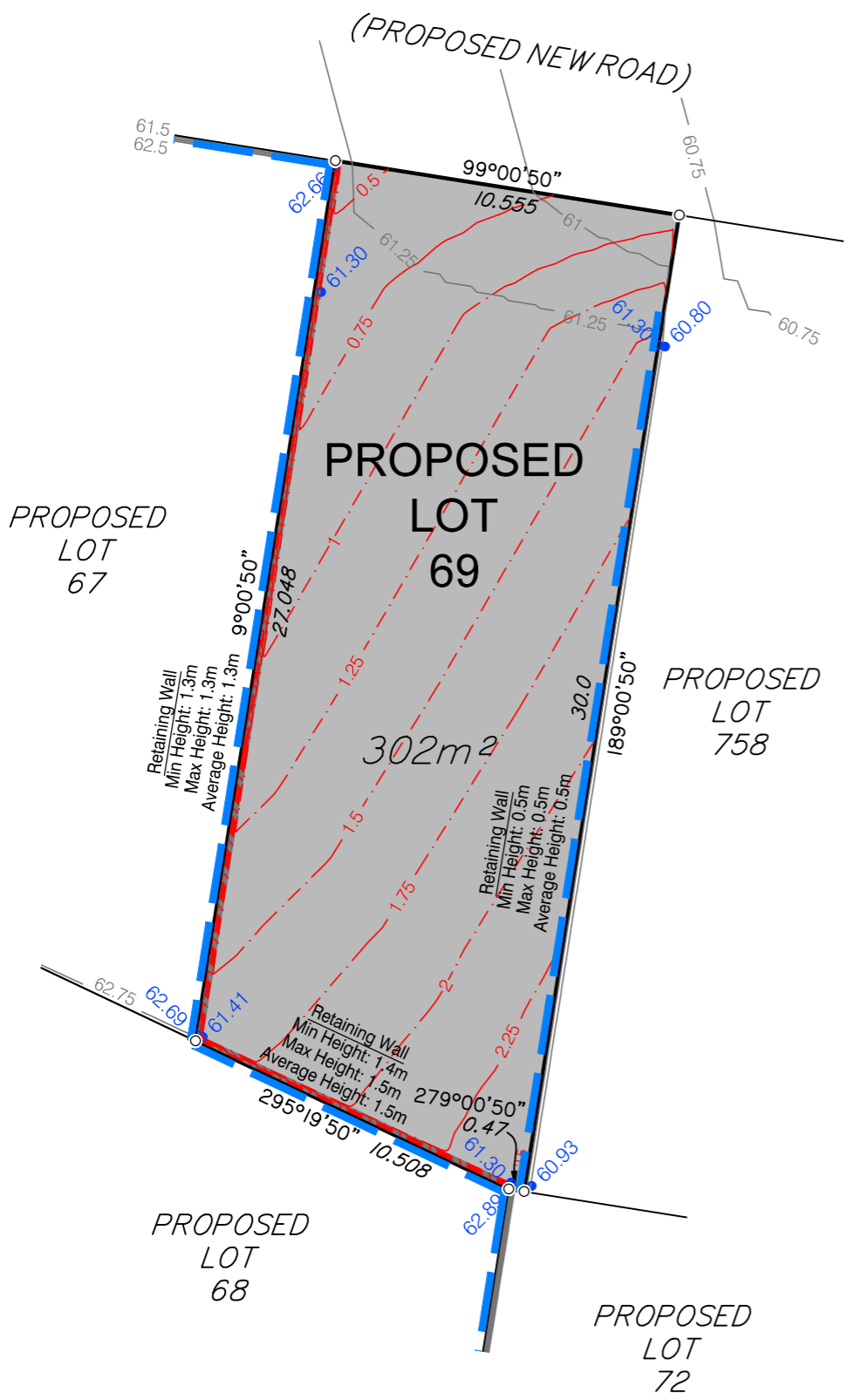
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LEVEL DATUM	AHD
LEVEL ORIGIN	PSM44691 RL 97.207
COMPUTER FILE	BRSS8354-01A-003-2
SCALE	1:250 @ A3
DRAWN	MEA DATE 28/08/2023
CHECKED	RGGA DATE 28/08/2023
APPROVED	RGGA DATE 28/08/2023



UDN
BRSS8354- 01B - 012 - 2



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
 Finished surface levels shown as: ● 66.30

NOTE:
 This additional information is indicative only and has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

The dimensions and locations of proposed easements may vary and are subject to final Council approval.

DISCLOSURE PLAN FOR PROPOSED LOT 71

This plan shows:
 Details of Proposed Lot 71 on the Proposed Reconfiguration Plan ----- dated -----, which accompanied an application for a Development Permit ----- for reconfiguration of Lots -----, approved by Ipswich City Council on xx/xx/xxx (Council reference: -----).


This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.


Retaining Walls are shown as: 

Area of Fill shown as: 

Fill ranges in depth from 1.6m to 3.8m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Design surface contours based on A.H.D. datum at an interval of 0.25m, shown as: 

Depth of fill contours based on A.H.D. datum at an interval of 0.25m, shown as: 

Areas and dimensions shown on this plan are subject to approval by Council and registration with the Department of Resources. Design surface contours, fill areas, depth of fill contours, depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Spiire on 10/08/2023.

Project:  **AMORY**
 AT RIPLEY
STAGE 1B

Client: **RIPLEY ESTATE DEVELOPMENT PTY LTD**



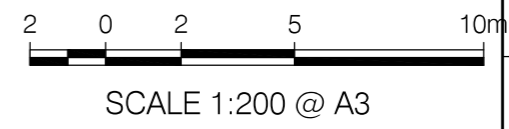
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 18 Little Cribb Street
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 Milton Qld 4064

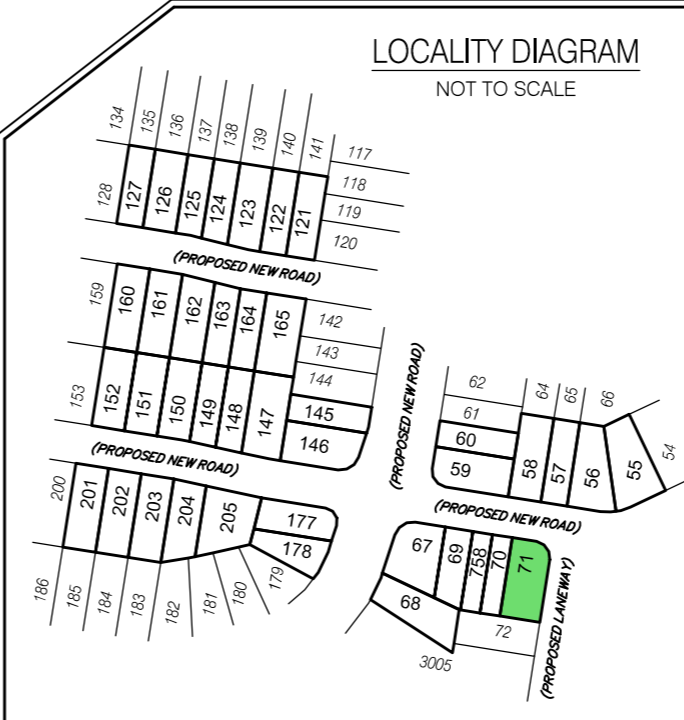
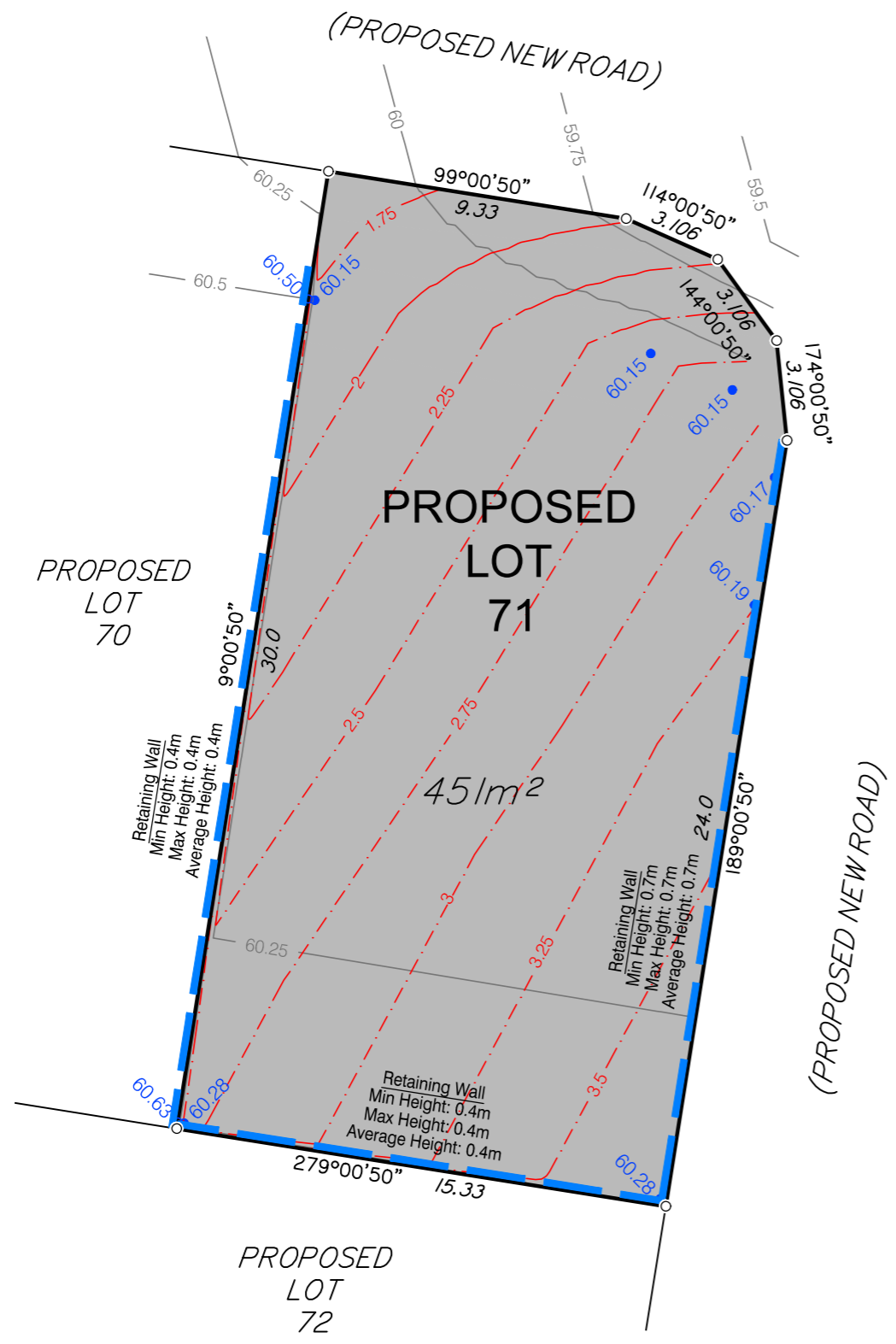
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LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM44691 RL 97.207		
COMPUTER FILE	BRSS8354-01A-003-1		
SCALE	1:250 @ A3		
DRAWN	MEA	DATE	23/08/2023
CHECKED	SHL	DATE	24/08/2023
APPROVED	RG	DATE	25/08/2023



UDN
BRSS8354- 01B - 014 - 1



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
 Finished surface levels shown as: ● 66.30

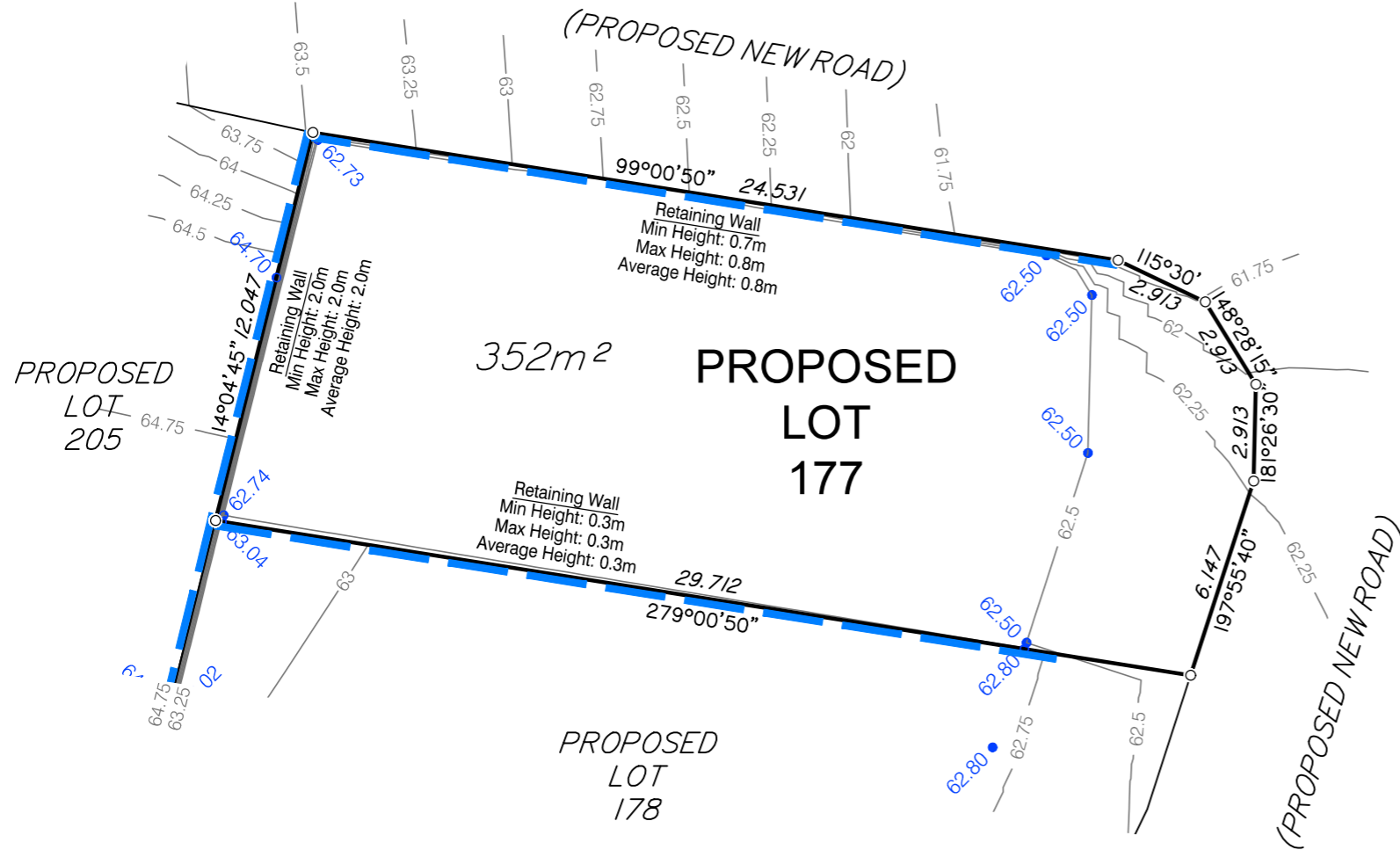
NOTE:
 This additional information is indicative only and has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

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DISCLOSURE PLAN FOR PROPOSED LOT 177

This plan shows:
 Details of Proposed Lot 177 on the Proposed Reconfiguration Plan ----- dated -----, which accompanied an application for a Development Permit ----- for reconfiguration of Lots -----, approved by Ipswich City Council on xx/xx/xxx (Council reference: -----).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.



Retaining Walls are shown as:

Area of Fill shown as:

This lot requires no fill.

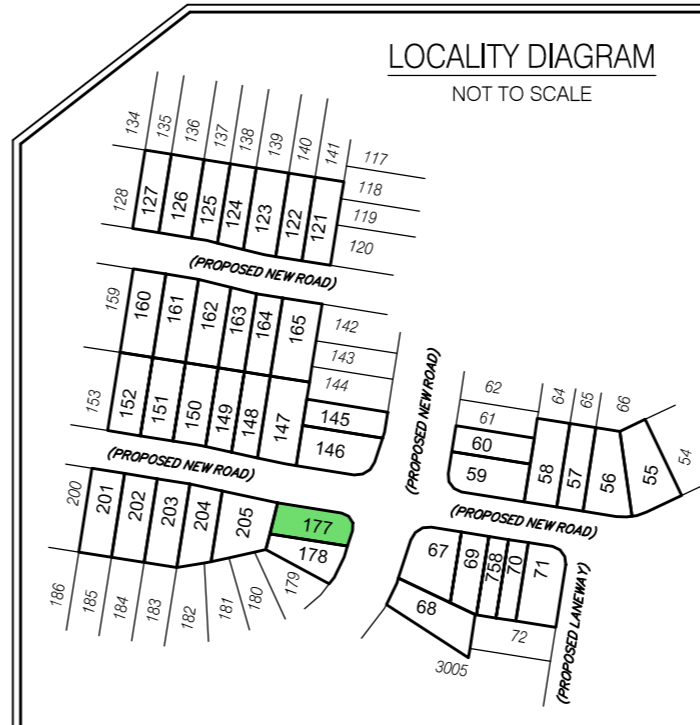
Design surface contours based on A.H.D. datum at an interval of 0.25m, shown as: 48.25

Depth of fill contours based on A.H.D. datum at an interval of 0.25m, shown as: 0.25

Areas and dimensions shown on this plan are subject to approval by Council and registration with the Department of Resources. Design surface contours, fill areas, depth of fill contours, depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Spiire on 10/08/2023.

Project: **AMORY**
 AT RIPLEY
 STAGE 1B

Client: **RIPLEY ESTATE DEVELOPMENT PTY LTD**



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Where applicable,
 Finished surface levels shown as: ● 66.30

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LEVEL DATUM	AHD
LEVEL ORIGIN	PSM44691 RL 97.207
COMPUTER FILE	BRSS8354-01A-003-1
SCALE	1:250 @ A3
DRAWN	MEA
DATE	23/08/2023
CHECKED	SHL
DATE	24/08/2023
APPROVED	RG
DATE	25/08/2023



SCALE 1:200 @ A3

UDN
BRSS8354- 01B - 036 - 1


DISCLOSURE PLAN FOR PROPOSED LOT 178


This plan shows:
 Details of Proposed Lot 178 on the Proposed Reconfiguration Plan ----- dated -----, which accompanied an application for a Development Permit ----- for reconfiguration of Lots -----, approved by Ipswich City Council on xx/xx/xxx (Council reference: -----).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Retaining Walls are shown as: 

Area of Fill shown as: 
 This lot requires no fill.

Design surface contours based on A.H.D. datum at an interval of 0.25m, shown as:  48.25

Depth of fill contours based on A.H.D. datum at an interval of 0.25m, shown as:  0.25

Areas and dimensions shown on this plan are subject to approval by Council and registration with the Department of Resources. Design surface contours, fill areas, depth of fill contours, depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Spiire on 10/08/2023.

Project:  **AMORY**
 AT RIPLEY
STAGE 1B

Client:
RIPLEY ESTATE DEVELOPMENT PTY LTD




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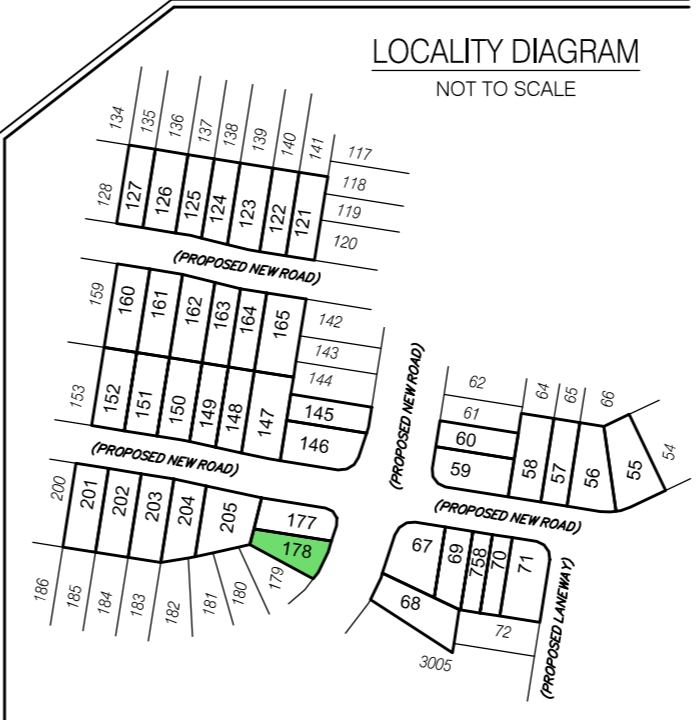
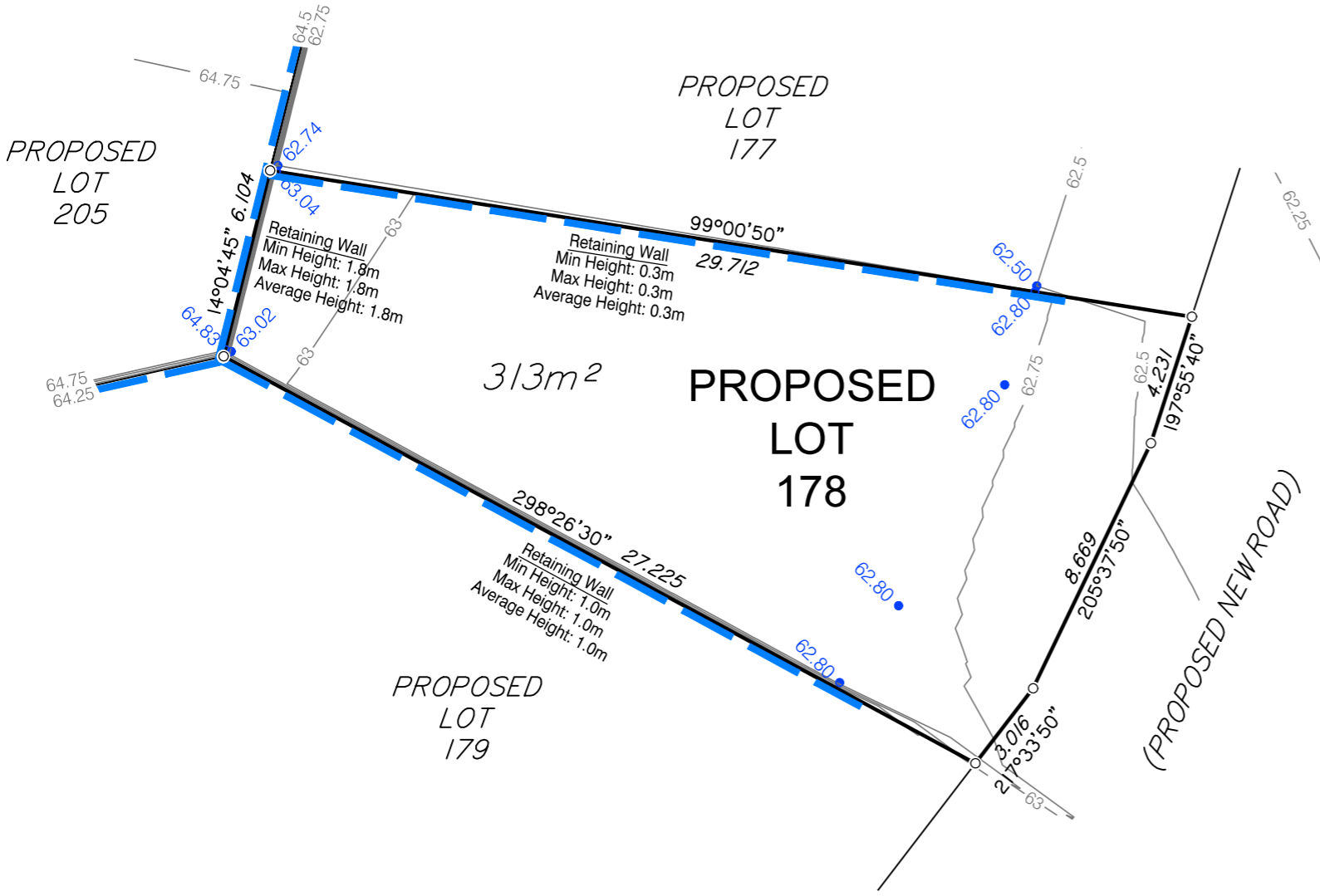


LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM44691 RL 97.207		
COMPUTER FILE	BRSS8354-01A-003-1		
SCALE	1:250 @ A3		
DRAWN	MEA	DATE	23/08/2023
CHECKED	SHL	DATE	24/08/2023
APPROVED	RG	DATE	25/08/2023



SCALE 1:200 @ A3

UDN
BRSS8354- 01B - 037 - 1



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
 Finished surface levels shown as: ● 66.30

NOTE:
 This additional information is indicative only and has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

The dimensions and locations of proposed easements may vary and are subject to final Council approval.


DISCLOSURE PLAN FOR PROPOSED LOT 201


This plan shows:
 Details of Proposed Lot 201 on the Proposed Reconfiguration Plan ----- dated -----, which accompanied an application for a Development Permit ----- for reconfiguration of Lots -----, approved by Ipswich City Council on xx/xx/xx (Council reference: -----).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Retaining Walls are shown as: 

Area of Fill shown as: 
 This lot requires no fill.



Design surface contours based on A.H.D. datum at an interval of 0.25m, shown as: 

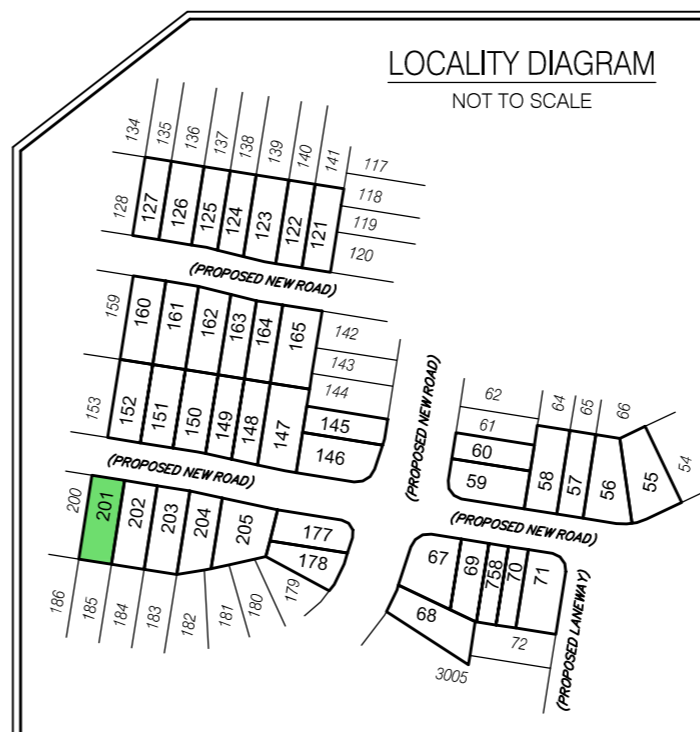
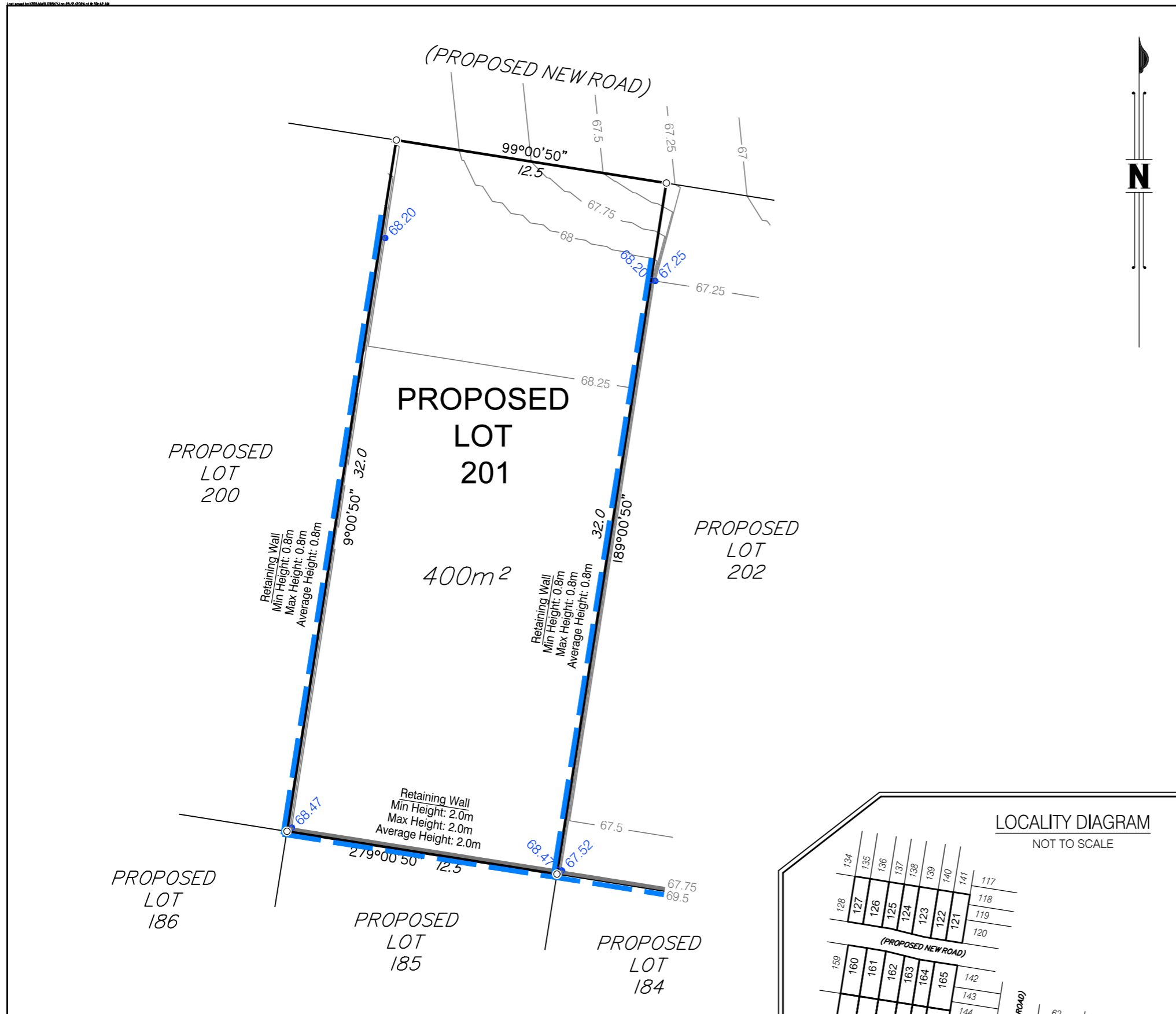
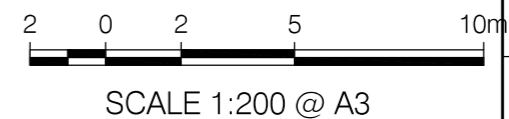
Depth of fill contours based on A.H.D. datum at an interval of 0.25m, shown as: 

Areas and dimensions shown on this plan are subject to approval by Council and registration with the Department of Resources. Design surface contours, fill areas, depth of fill contours, depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Spiire on 10/08/2023.

Project:  **AMORY**
 AT RIPLEY
STAGE 1B

Client: **RIPLEY ESTATE DEVELOPMENT PTY LTD**

 Brisbane Office Level 1 18 Little Cribb Street Milton Qld 4064 PO Box 1399 Milton Qld 4064 p: (07) 3842 1000 e: info@landpartners.com.au w: www.landpartners.com.au 	LEVEL DATUM	AHD
	LEVEL ORIGIN	PSM44691 RL 97.207
	COMPUTER FILE	BRSS8354-01A-003-1
	SCALE	1:250 @ A3
	DRAWN	MEA
CHECKED	SHL	DATE 24/08/2023
APPROVED	RG	DATE 25/08/2023
UDN		BRSS8354- 01B - 038 - 1



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
 Finished surface levels shown as: ● 66.30

NOTE:
 This additional information is indicative only and has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.


The dimensions and locations of proposed easements may vary and are subject to final Council approval.

DISCLOSURE PLAN FOR PROPOSED LOT 202

This plan shows:


Details of Proposed Lot 202 on the Proposed Reconfiguration Plan ----- dated -----, which accompanied an application for a Development Permit ----- for reconfiguration of Lots -----, approved by Ipswich City Council on xx/xx/xxx (Council reference: -----).


This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Retaining Walls are shown as: 

Area of Fill shown as: 

This lot requires no fill.

Design surface contours based on A.H.D. datum at an interval of 0.25m, shown as: 

Depth of fill contours based on A.H.D. datum at an interval of 0.25m, shown as: 

Areas and dimensions shown on this plan are subject to approval by Council and registration with the Department of Resources. Design surface contours, fill areas, depth of fill contours, depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Spiire on 10/08/2023.

Project:



Client:

RIPLEY ESTATE DEVELOPMENT PTY LTD



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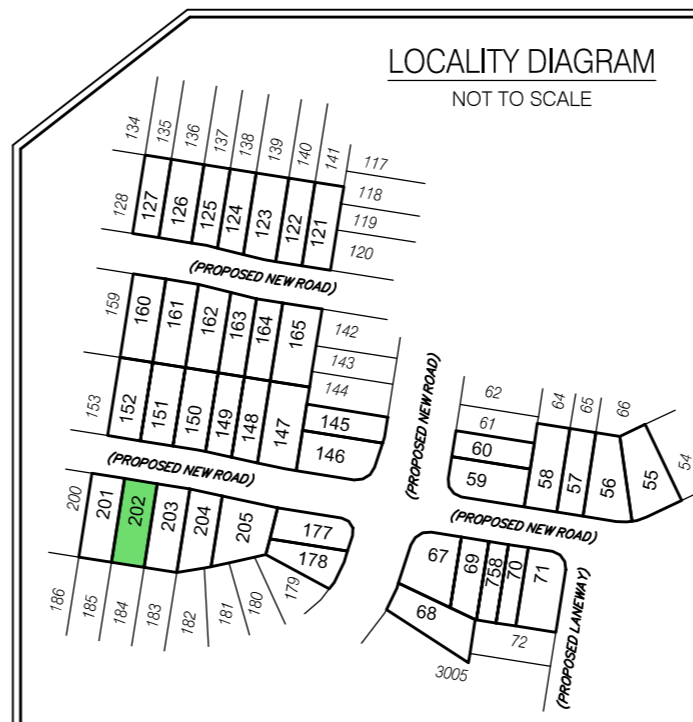
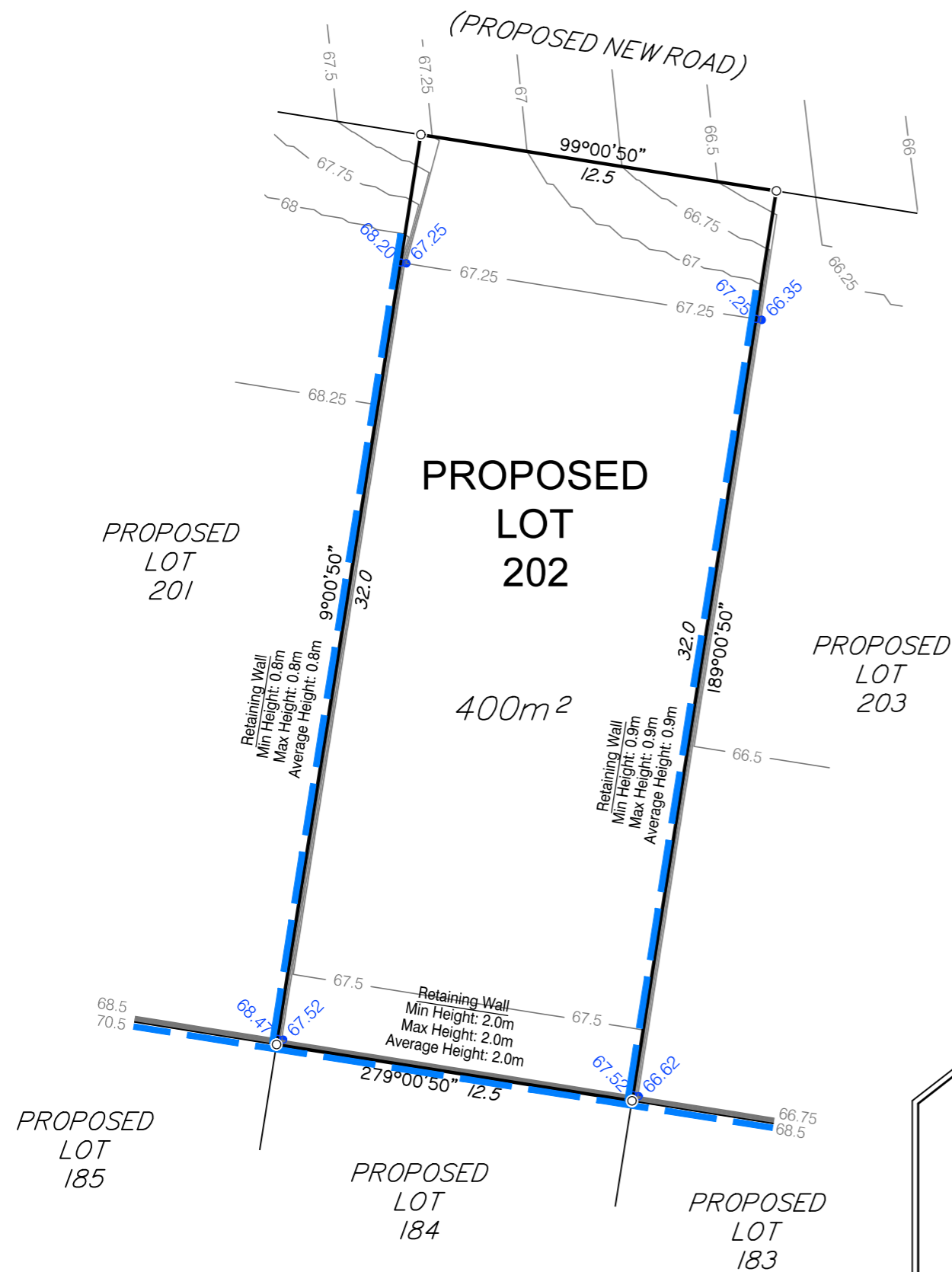


LEVEL DATUM	AHD		
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COMPUTER FILE	BRSS8354-01A-003-1		
SCALE	1:250 @ A3		
DRAWN	MEA	DATE	23/08/2023
CHECKED	SHL	DATE	24/08/2023
APPROVED	RG	DATE	25/08/2023



SCALE 1:200 @ A3

UDN
BRSS8354- 01B - 039 - 1



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished surface levels shown as: ● 66.30

NOTE:

This additional information is indicative only and has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

The dimensions and locations of proposed easements may vary and are subject to final Council approval.

DISCLOSURE PLAN FOR PROPOSED LOT 203


This plan shows:
 Details of Proposed Lot 203 on the Proposed Reconfiguration Plan ----- dated -----, which accompanied an application for a Development Permit ----- for reconfiguration of Lots -----, approved by Ipswich City Council on xx/xx/xxx (Council reference: -----).


This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Retaining Walls are shown as: 

Area of Fill shown as: 

This lot requires no fill.

Design surface contours based on A.H.D. datum at an interval of 0.25m, shown as:  48.25

Depth of fill contours based on A.H.D. datum at an interval of 0.25m, shown as:  0.25

Areas and dimensions shown on this plan are subject to approval by Council and registration with the Department of Resources. Design surface contours, fill areas, depth of fill contours, depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Spiire on 10/08/2023.

Project:  **AMORY**
 AT RIPLEY
STAGE 1B

Client: **RIPLEY ESTATE DEVELOPMENT PTY LTD**




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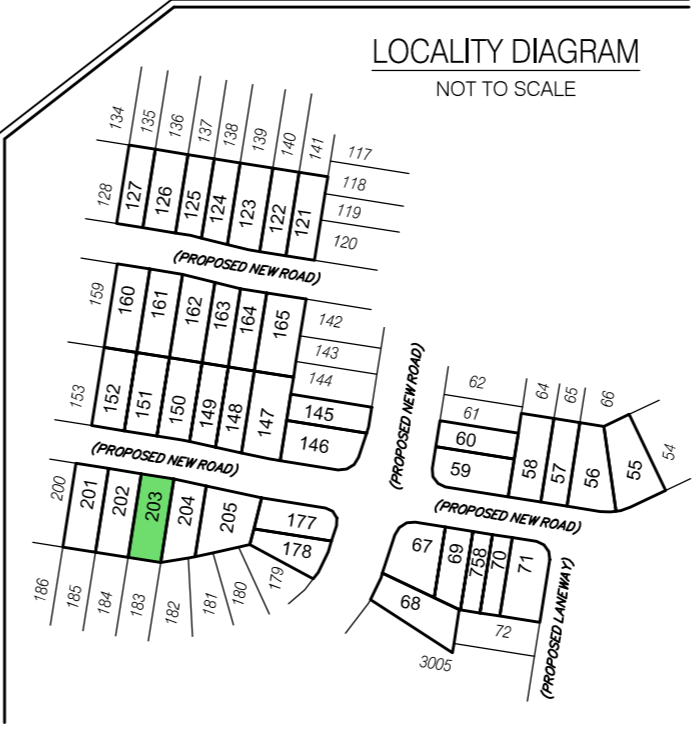
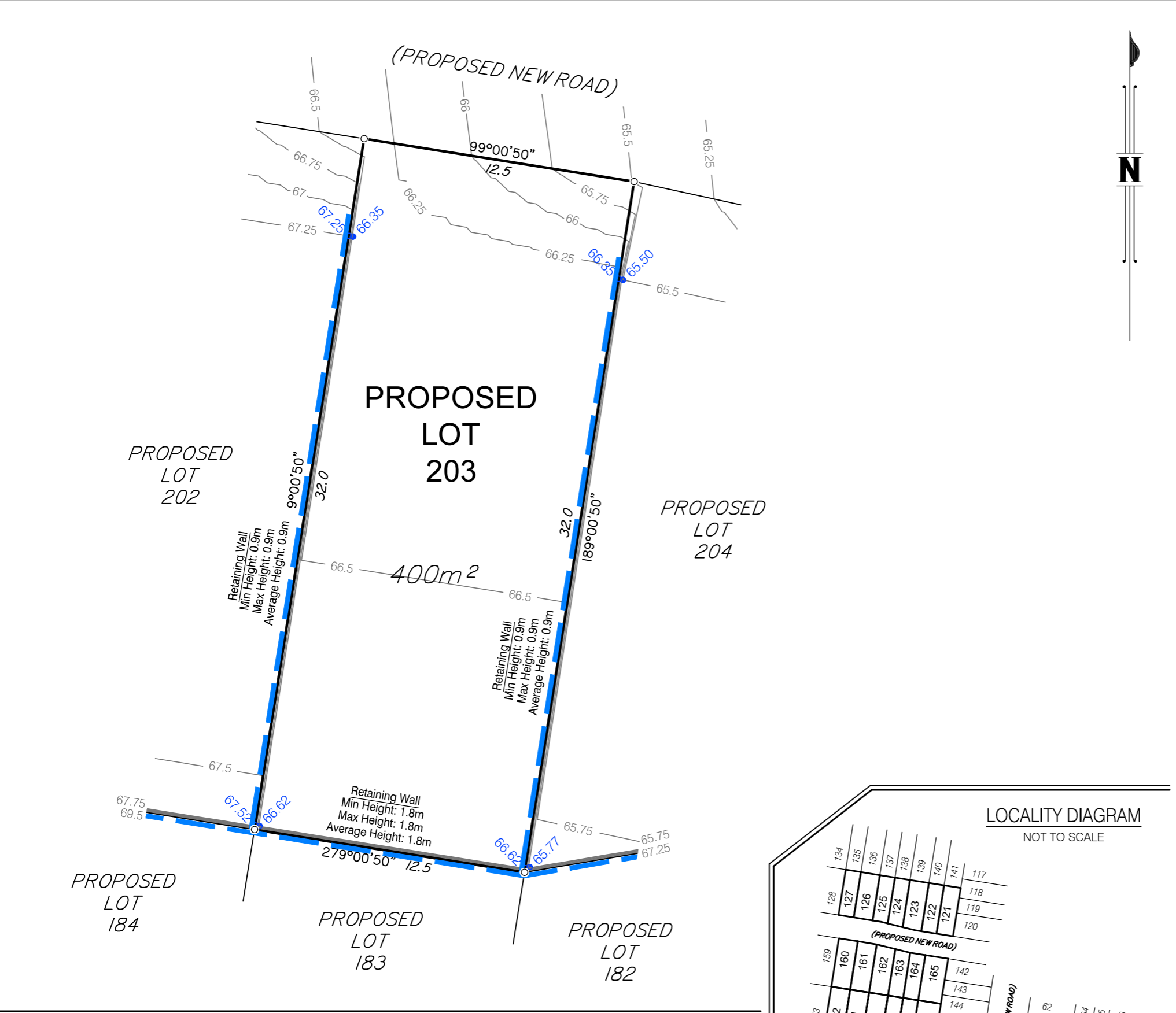


LEVEL DATUM	AHD
LEVEL ORIGIN	PSM44691 RL 97.207
COMPUTER FILE	BRSS8354-01A-003-1
SCALE	1:250 @ A3
DRAWN	MEA
DATE	23/08/2023
CHECKED	SHL
DATE	24/08/2023
APPROVED	RG
DATE	25/08/2023



SCALE 1:200 @ A3

UDN
BRSS8354- 01B - 040 - 1



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
 Finished surface levels shown as: ● 66.30

NOTE:
 This additional information is indicative only and has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

The dimensions and locations of proposed easements may vary and are subject to final Council approval.




DISCLOSURE PLAN FOR PROPOSED LOT 204

This plan shows:
 Details of Proposed Lot 204 on the Proposed Reconfiguration Plan ----- dated -----, which accompanied an application for a Development Permit ----- for reconfiguration of Lots -----, approved by Ipswich City Council on xx/xx/xxx (Council reference: -----).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Retaining Walls are shown as: 

Area of Fill shown as: 
 This lot requires no fill.

Design surface contours based on A.H.D. datum at an interval of 0.25m, shown as:  48.25
 Depth of fill contours based on A.H.D. datum at an interval of 0.25m, shown as:  0.25 

Areas and dimensions shown on this plan are subject to approval by Council and registration with the Department of Resources. Design surface contours, fill areas, depth of fill contours, depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Spiire on 10/08/2023.

Project:  **AMORY**
 AT RIPLEY
STAGE 1B

Client: **RIPLEY ESTATE DEVELOPMENT PTY LTD**




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 w: www.landpartners.com.au



LEVEL DATUM	AHD
LEVEL ORIGIN	PSM44691 RL 97.207
COMPUTER FILE	BRSS8354-01A-003-1
SCALE	1:250 @ A3
DRAWN	MEA DATE 23/08/2023
CHECKED	SHL DATE 24/08/2023
APPROVED	RGa DATE 25/08/2023



SCALE 1:200 @ A3

UDN
BRSS8354- 01B - 041 - 1

